

**CITY OF COOS BAY**

Public Works & Community Development Department
500 Central Avenue, Coos Bay, Oregon 97420
Phone 541-269-8918 Fax 541-269-8916

Permit No. **187-** _____ - _____

Date Received: _____

LAND USE DEVELOPMENT REVIEW APPLICATION**For Office Use Only**

STAFF CONTACT

PROJECT NO(S).

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Legislative/Text Amendment | <input type="checkbox"/> Temporary Use |
| <input type="checkbox"/> Architectural Design Review | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Vacation |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Partition | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Estuarine Use/Activities | <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Subdivision | |

Pre-Application and Appeal applications require a different application form available on the City website or at City Hall.

Site Location/Address:

Site is located south of the intersection of Ocean Blvd and
Lindy Lane. No address assigned currently.

Assessor's Map No./Tax Lot(s): 25s-13W-21c&28/ TL 900, 903, 600

Zoning: C-2, QR-3, R-3

Total Land Area: 76.61 Acres

Detailed Description of Proposal:

The project will create a new manufactured home development consisting of 450 new homesites, a community building, public parking, and storage area for residents. The owner will retain ownership of the facility and rent individual spaces. The development will utilize public water and sewer systems for service and discharge. The property has multiple small wetlands that will be delineated prior to removal with onsite remediation being provided. A 1200-C is on file for the described property. A full detail of codes required and followed for design are included within the Basis of Design Report.

Applicant/Owner Name:

Gateway Oasis II

Phone: 602-796-1800

(please print)

Address:

2800 Niagara Lane North

Email:

Plymouth, MN 55447

City State Zip:**Applicant's Representative:**

Brad Woodruff, Red Moon Development

Phone: 602-796-1800

(please print)

Address:

6589 S. Kings Ranch Road #103J Box 6

Email: redmoonaz@aol.com

City State Zip:

Gold Canyon, AZ 85118

1. Provide evidence that you are the owner or purchaser of the property or have the written permission of owner(s) to make an application.
2. Copy of the deed for the subject property.
3. Address the Decision Criteria or Goals/Standards outlined in the Coos Bay Municipal Code chapter(s) related to your request.
4. Additional information: Date construction is expected to begin; estimated completion date of the total project and of individual segments; and anticipated future development.
5. Type II requires three (3) **complete hard-copy sets** (single sided) of application & submitted documents must be included with this application.
One (1) complete set of digital application materials must also be submitted electronically or on CD in Word format.
Additional copies may be required as directed by the Coos Bay Director of Community Development.
6. Type III requires **Ten (10) complete hard-copy sets** (single sided) of application & submitted documents must be included with this application.
One (1) complete set of digital application materials must also be submitted electronically or on CD in Word format.
Additional copies may be required as directed by the Coos Bay Director of Community Development.

Per City of Coos Bay Resolution 19-19, a 5% Technology Fee will be assessed on all permit and plan review fees.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Coos Bay Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature

1/16/20

Date

Owner's signature (required)

1/16/20

Date

Timber Cove Design Criteria				
Item	Design Element	Code	Meets Requirements (Y or N)	Comments
City of Coos Bay				
Chapter 17.220				
1	Planned unit development	Table 17.220.020		C/Type 3
2	Lodge, club, fraternal or civic assembly less than 4000 s.f. and 20 parking spaces	Table 17.220.020		C/Type 3
3	Public utilities 4000 s.f. or greater and/or 20 parking spaces	Table 17.220.020		C/SPR/Type 3
Chapter 17.220.030				
4	Maximum dwelling units per acre	Table 17.220.030	Y	LDR-6 Overlay Zone
5	Minimum lot size	Table 17.220.030	Y	Minimum lot size for development is 3600 s.f.
6	Minimum lot width (Min design width = 48')	Table 17.220.030	Y	
7	Minimum lot depth (Min design depth = 75')	Table 17.220.030	Y	Refer to 17.362.010 "An approved PUD may deviate from specific site standards as long as the PUD substantially complies with general purposes of the applicable standards of this title."
8	Table 17.220.030 remaining criteria	Table 17.220.030	Y	All remaining items meet or exceed requirements
Chapter 17.225				
9	The medium density residential (MDR) district is intended to provide for residential development opportunities with a minimum density of eight units per net acre and a maximum density of 16 units per net acre.	17.225.010	Y	Requirements met with 8 units per acre.
10	Requirements of factory-built home parks Items 1 & 2	CBMC 17.225.070, Items (1)&(2)	Y	Meets standards.
11	Unit density: not more than eight but no less than five dwelling units per acre.	CBMC 17.225.070, Item (3)	Y	Requirements met with 8 units per acre.
12	Pave road section is twenty-two feet where no on-street parking is allowed.	CBMC 17.225.070, Item (4)	N	Per CBMC 17.362.040, Item (4)(b)(i), road section will be 18'.
13	Requirements of factory-built home parks Items 5-12	CBMC 17.225.070, Items (5)-(12)	Y	Meets standards.
Chapter 17.330				
14	Table 17.330.10(A) - Off street parking requirements	CBMC 17.330.010(A)	Y	Each lot shall be provided with 3 off-street parking spaces to conform to OMDPSC 10-5.3(b) where no additional off-street parking is required.
15	Size of Parking Space. Each off-street parking space shall not be less than nine feet by 18 feet. Up to 25 percent of all required parking spaces can be used for compact vehicles. These compact spaces shall not be less than eight feet by 16 feet. Each space shall be provided with adequate ingress and egress.	CBMC 17.330.030, Item (1)	Y	Parking spaces are 9' x 20' minimum.
16	Off-street parking facilities shall be located on site to the extent feasible. Off-site parking shall be no further than 300 feet from the site, measured from the nearest point of the parking facility to the nearest point of the nearest building that the facility is required to serve. Off-site parking shall be primarily employee parking.	CBMC 17.330.030, Item (2)	N/A	Per OMDPSC 10-5.3(b), a separate guest parking area is not required where individual manufactured dwelling lots have a parking area for 3 or more vehicles. However, additional off-street parking is provided at multiple locations.

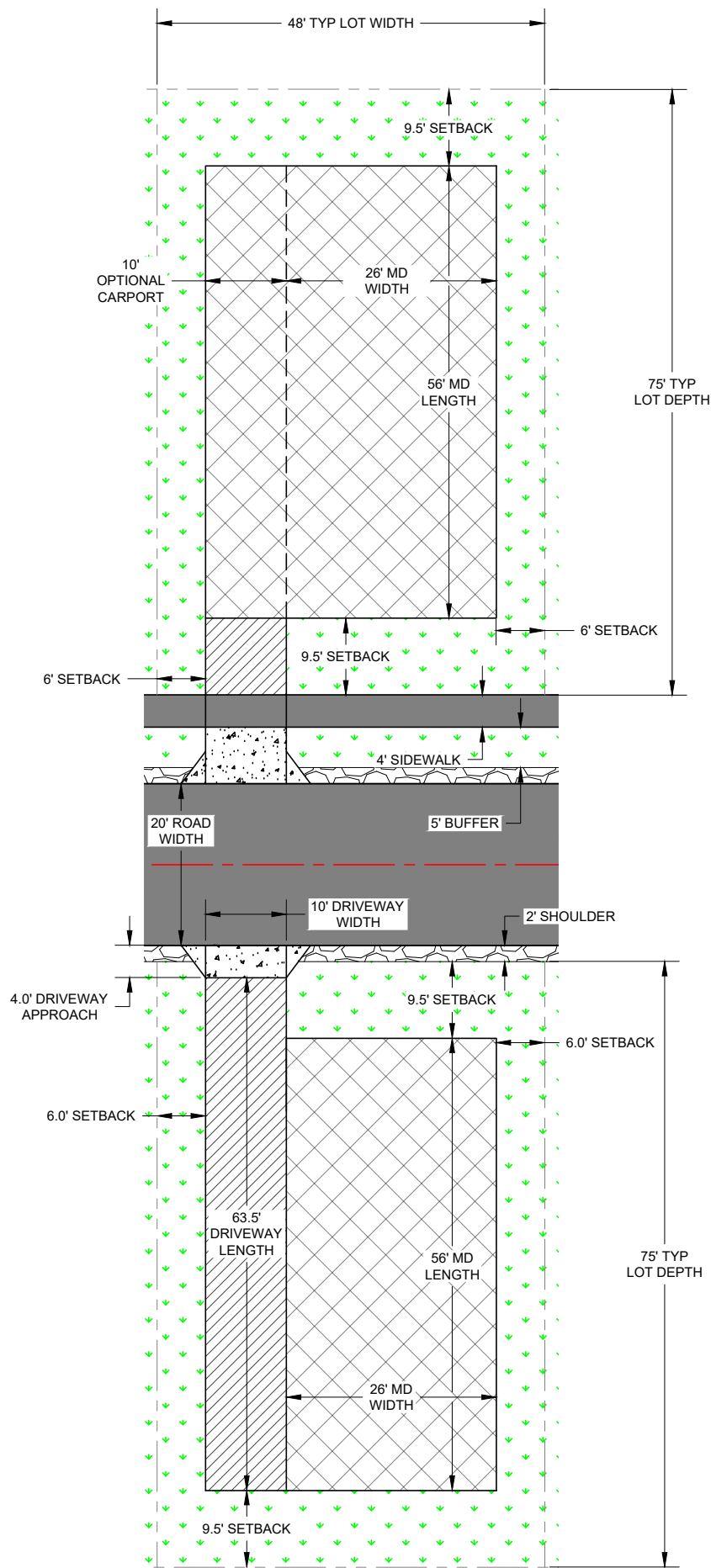
17	Off-street parking facilities shall be surfaced with a durable and dustless surface, shall be graded and drained so as to dispose of surface water to the satisfaction of the public works department and shall be maintained in good condition, free of weeds, dust, trash, and debris.	CBMC 17.330.030, Item (3)(a)	Y	Surface is asphalt.
18	Serve a driveway designed and constructed to facilitate the flow of traffic on and off the site, with due regard to pedestrian and vehicle safety, and shall be clearly and permanently marked and defined. In no case shall two-way and one-way driveways be less than 20 feet and 12 feet, respectively, and arranged so as not to use any part of adjoining public sidewalks, street, or alley rights-of-way, except for ingress and egress.	CBMC 17.330.030, Item (3)(b)(ii)	Y	Design utilized Coos Bay standard detail T-6
19	Lighting used to illuminate off-street parking facilities shall be arranged so as to reflect light away from any adjoining residential area(s).	CBMC 17.330.030, Item (3)(c)	Y	Meets requirements. See lighting plans.
20	All uses, except for single-family dwellings and duplexes, required to provide off-street vehicle parking shall provide bicycle parking consistent with the standards in Table 17.330.030.	CBMC 17.330.030, Item (4)	N/A	Not applicable due to single family dwelling.
21	Vehicles in residential zones Items 1-3	CBMC 17.330.050, Items 1-3	Y	Refer to item 11 of this spreadsheet, additional storage will be provided for recreational vehicles. See engineering plans.
22	Off-street parking shall be provided for at least 2 automobiles per dwelling unit	CBMC 17.330.070, Item (1)	Y	Each lot shall be provided with 3 off-street parking spaces to conform to OMDPSC 10-5.3(b) where no additional off-street parking is required.
23	At least 1 parking space shall be provided for every 2 manufactured homes for use by visitors	CBMC 17.330.070, Item (2)	N	Per OMDPSC 10-5.3(b), a separate guest parking area is not required where individual manufactured dwelling lots have a parking area for 3 or more vehicles.
24	All on-site parking shall be designed and constructed in compliance with the parking facility standards of this chapter.	CBMC 17.330.070, Item (3)	Y	Meets requirement
25	Trucks with a maximum gross vehicle weight more than one and one-half tons, recreational vehicles, boats on boat trailers, and similar equipment shall be parked in one of the two allocated off-street parking spaces if stored on an individual lot or space; provided no more than one passenger vehicle may be parked on a given lot or space. Car-top boats and canoes are exempt from this requirement.	CBMC 17.330.070, Item (4)	Y	Storage provided for recreational and oversized vehicles.
Chapter 17.333				
26	Signs	CBMC 17.333	Y	Signs on site meet MUTCD requirements
Chapter 17.335				
27	Lighting Items 1-3	CBMC 17.335.040 Items (1)-(3)	Y	Meets requirements. See lighting plans.
28	Landscaping Items 1-15	CBMC 17.335.060 Items (1)-(15)	Y	Meets requirements. See landscaping plans.
29	Drive-ins/drive-throughs Items 1-5	CBMC 17.335.070, Items (1)-(5)	Y	Meets requirements. See engineering plans for lot 1.

Chapter 17.365				
30	Site plan	CBMC 17.365.050, Item (1)(a)	Y	See engineering plans
31	Written narrative describing project	CBMC 17.365.050, Item (1)(b)	Y	See Basis of Design Report
32	Landscaping plan	CBMC 17.365.050, Item (1)(c)	Y	See landscaping plans
33	Lighting plan	CBMC 17.365.050, Item (1)(d)	Y	See lighting plans
Chapter 17.362				
34	Minimum Area. The minimum gross area of a PUD is two acres.	CBMC 17.362.040, Item (1)	Y	Meets requirements. See engineering plans.
35	The development shall provide vehicular and pedestrian access from a dedicated and improved street.	CBMC 17.362.040, Item (4)(a)	Y	Meets requirements. See engineering plans.
36	Road section is eighteen feet where no on-street parking is allowed.	CBMC 17.362.040, Item (4)(b)(i)	Y	Meets requirements. See engineering plans.
37	Fire Protection. The PUD shall provide on-site fire protection facilities in accordance with current regulations and requirements of the city applicable to the development.	CBMC 17.362.040, Item (5)(a)	Y	Meets requirements. See engineering plans.
38	Lighting. All roads within the planned unit development shall be lighted at night to provide a minimum of 0.35 foot-candles of illumination.	CBMC 17.362.040, Item (5)(b)	Y	Meets requirements. See engineering plans.
39	Minimum Area. A PUD shall provide not less than 40 percent of the total gross area as recreation areas and/or open space. Designated recreational and/or open space shall contain a minimum area of 3,000 square feet with a minimum dimension of 30 feet.	CBMC 17.362.040, Item (6)(a)	Y	Meets requirements. See engineering plans.
Chapter 17.367				
40	An applicant for pre-application review of a subdivision shall submit all information required under CBDC 17.130.020(3), Application Contents, and items (a) through (h).	CBMC 17.367.010, Item (a)	Y	Meets requirements. See engineering plans.
41	Construction shall not start prior to the public works department signing and approving both the construction plans and the final plat survey computations	CBMC 17.367.060	Y	Meets requirements. See engineering plans.
42	Improvement Plans	CBMC 17.367.070	Y	Meets requirements. See engineering plans.
Chapter 18				
43	City Streets	CBMC 18.15.010	Y	Lindy design to local standards. See items xx.
44	Privately Maintained Streets	CBMC 18.15.020	Y	Development intends to own and maintain streets beginning at the property line.
45	Sanitary Sewers	CBMC 18.20	Y	Development will maintain ownership and maintenance until piping enters public right-of-way on Fulton Ave.
46	Stormwater Management Systems	CBMC 18.25	Y	See engineering plans and stormwater report. Owner intends to maintain owners and maintenance of facilities within the property boundaries.
47	Site Grading and Erosion Control	CBMC 18.30	Y	See engineering plans and 1200C permit.
48	Traffic Impact Analysis Requirements	CBMC 18.40	Y	See Traffic Impact Analysis

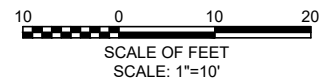
Pre-Application Requirements Refer to letter 187-19-019 dated May 9, 2019				
49	Grading and Fill/Site Development	OMDPSC 10-2.3	Y	See geotechnical report
50	Grading and Fill/Site Development	OMDPSC 2010 Edition, Figure 3-2.5(c)	Y	Site grading to provide minimum requirements as shown in seismic zone D2.
51	Grading and Fill/Site Development	CBMC 18.30	Y	See geotechnical report
52	Grading and Fill/Site Development	CBMC 18.30	Y	See 1200C permit, engineering plans and geotechnical report
53	Grading and Fill/Site Development	OMDPSC 10-6.4	Y	Grading design has been completed to limit retaining structures to midblock locations and locations that would not limit sight distance.
54	Drainage	OMDPSC 10-4.3	Y	See engineering plans and stormwater drainage report
55	Sanitary Sewer	OMDPSC 10-4.1	Y	See engineering plans
56	Grinder pump on SW corner lots to shallow overall pipe run by 5'		Y	Requires 3 GP on SW side of LP2 b/c max pipe. Can potentially remove 1-3 GP here if a manhole is added
57	Onsite Street Improvements	OMDPSC 10-4.1	Y	Development utilizes chapter 10, figure 10-5.1G
58	Hammerheads	OMDPSC 10-5	Y	Meets standards, see engineering plans.
59	Parking	OMDPSC 10-5.3	Y	Meets standards, see items xx.
60	Street Lighting	OMDPSC 10-3.4	Y	Meets standards, see lighting plans.
61	Signing and striping	CBMC 18.15.010	Y	Signing and striping on site will meet MUTCD requirements. See engineering plans.
62	Walking Zones Item (g)	OMDPSC 10-5.4	Y	Running slope in some instances exceeds 5% due to adjacent roadway grades. Meets CBMC standards and adopted ADA standards allowing a higher running slope when adjacent road grades exceed 5%.
63	Walking Zones Items (a)-(f) and (h)-(i)	OMDPSC 10-5.4	Y	Pedestrian walkway is provided on one side of each street and meets requirements.
64	Transportation/Right of Way/Street			
65	12.5' lane (not including curb and gutter)	Pre-App	Y	Lindy Lane, extended 100-feet inside property line
66	6' Bike Lane	Pre-App	N/A	See Traffic Impact Analysis
67	5.5' Sidewalk and Curb	Pre-App; CBMC 18.15.010, Item (3) (a)	Y	Applied to Lindy Improvements only
68	1' Gap behind sidewalk	CBMC 18.15.010, Item (3) (d)	Y	Applied to Lindy Improvements only
69	2' Curb and Gutter	Coos Bay Std Dwg T-13	Y	Applied to Lindy Improvements only
70	Design Speed = 20 mph	CBMC 18.15.010, Item (2) (a)(ii)	Y	Reduced to 20 mph to minimize vertical curve length crossing
71	200' Horizontal Curve	CBMC 18.15.010, Item (4)	Y	Meets standards.
72	Stop Bars 4' from intersection/crosswalk	MUTCD 3B.16(10)	Y	Meets standards.
73	Design Speed = 20 mph	CBMC 18.15.010, Item (2) (a)(ii)	Y	Reduced to 20 mph to reduce vertical curve length and minimize impacts on cut and fills at intersections
74	Vert. Curve Stopping Sight Distance = 115 ft	Green Book Table 3-34/3-36	Y	Based on design speed
75	Level Road SSD = 115 ft	Green Book Table 3-1	Y	Based on design speed
76	Crosswalk Markings are 1' wide stripes 6' apart	MUTCD 3B.18(04)	Y	Meets standards.

77	Building Codes			Refer to geotechnical report
78	Fire Protection and Access			Meets standards.
79	I can see from their submitted drawing that they have allowed for an emergency access road. It does need to meet all of the requirements outlined in the Oregon Fire Code, regarding surface material, grade, width, and gates.		Y	See engineering plans. Items have been addressed.
80	Items 2-6		Y	Meets requirements. See engineering plans and report.
81	Coordination with City and outside Agencies and Permits			Coordination items have been addressed and are ongoing.
2002 Oregon Manufactured Dwelling and Parks Specialty Code				
82	Fire apparatus shall be able to approach within 50 ft of each MD	10-3.1(c)	Y	Location of Hydrants was reviewed and approved by CB Fire Marshal on 12.10.19. Modifications have been made slightly to the SE corner since review. Hydrant locations still meet City requirements for spacing but will require a quick review by Fire Marshall for final approval
83	Signing and striping requirements	10-3.3	Y	Signing provided, striping not required for 20 mph zones
84	Storm water drainage requirements	10-4.3	Y	See stormwater report
85	Detention system may be used if deemed necessary by engineer	10-4.3(b)	Y	See Stormwater report
86	Provide storm water drains to street for each MD	10-4.3(c)	Y	See Stormwater report and drawings
87	Vehicle and Pedestrian Access	10-5	Y	Lots sized to allow 3 vehicle parking for no allowable on street parking. Additional parking areas provided as well. Pedestrian path included in design/project
88	Street and Alley Design	10-5.1.1	Y	Meets standards.
89	Lindy lane standards shall be continued for the 1st 100ft of the park entrance street	10-5.1.1(c)	Y	Meets standards.
90	Alleys with both inlet and outlet have a maximum length of 400 ft	10-5.1.1(g)2	Y	Meets standards.
91	Streets or alleys with dead ends can't be longer than 150ft without a	10-5.1.1(g)3	Y	Hammerhead turn arounds provided
92	Streets or alleys with a designated turnaround can't be longer than 300 ft excluding the turnaround	10-5.1.1(g)4	Y	Meets standards.
93	Curved streets: Min inside radius is 29ft; min outside radius is 55ft	10-5.1.1(h)	Y	Meets standards.
94	Intersections have a min radius of 15 ft	10-5.1.1(i)	Y	Meets standards.
95	Connection to Lindy lane: min inside radius of 35 ft	10-5.1.1(j)	Y	Meets standards.
96	Skewed intersections: min angle of 70 degrees	10-5.1.1(k)	Y	Meets standards.

97	Min vertical clearance for streets/alleys is 16 ft	10-5.1.1(l)	Y	Meets standards.
98	Approved turnarounds are cul-de-sacs or hammerhead; see 10-5.1.1(m)1&2 for requirements	10-5.1.1(m)	Y	Meets standards.
99	Fences within 10 ft of intersections are limited to 4 ft high with 75% of the upper 2ft open	10-5.1.1(n)	Y	Meets standards.
100	Street and Alley Construction	10-5.1.2	Y	Meets standards.
101	Longitudinal slope must be between 1% and 12%	10-5.1.2(a)&(b)	Y	Meets standards.
102	WITH CURBS, S/A can be (1) crowned with min 2% cross slope; (2) inverted crown with min 1% cross slope; (3) shed section with min 2%	10-5.1.2(c)	Y	Meets standards.
103	WITHOUT CURBS, S/A can be (1) crowned with min 0.5% cross slope; (2) inverted crown with min 1% cross slope; (3) shed section with min 1% slope	10-5.1.2(d)	Y	Meets standards.
104	WITHOUT CURBS, S/A are required to have a 2ft shoulders	10-5.1.2(e)	Y	Meets standards.
105	Pavement section and material requirements	10-5.1.2(k)	Y	Meets standards.
106	Driveways	10-5.2		Meets standards.
107	Single driveways shall be 10' wide	10-5.2(a)	Y	Meets standards.
108	Double driveways shall be 24' wide	10-5.2(b)	Y	Meets standards.
109	Common driveways may serve single or double driveways	10-5.2(g)	Y	Meets standards.
110	Common driveways can serve up to 4 individual MDs but shall not exceed 100' in length	10-5.2(g)1	Y	Meets standards.
111	CD min 20' wide ROW	10-5.2(g)2	Y	Meets standards.
112	CD min wearing surface 12' wide	10-5.2(g)4	Y	Meets standards.
113	Parking	10-5.3	Y	Meets standards.
114	2 parkings spaces per MD required. Can be a combination of on and off street parking or all off street	10-5.3(a)	Y	Meets standards.
115	1 guest parking space per 8 homes located within 400 ft within each lot dwelling served. Not needed if on- street parking is available or if MDs have 3 parking spaces or more	10-5.3(b)	N/A	Additional parking was provided that exceeds this requirement
116	Play areas shall have min of 2 parking spaces for every 2500 SF	10-5.3(c)	Y	Club house region meets this requirement as additional parking will be provided
117	Pedestrian Access	10-5.4	Y	Meets standards.
118	Sidewalk/walkway shall be required on one side of each park street	10-5.4(a)	N/A	Meets standards.
119	Park streets without sidewalks may have a designated walkway on one side of the street.	10-5.4(b)	Y	Meets standards.
120	S/W shall be min 4 ft wide	10-5.4(c)	Y	Meets standards.
121	S/W shall have a slip-resistant surface	10-5.4(d)	Y	Meets standards.
122	S/W running slope less than 5% and cross slope less than 2%	10-5.4(g)	Y	Meets standards.
123	Alleys and common driveways may serve as the pedestrian access without an increase in size if the slopes doesn't exceed 2%	10-5.4(h)	N/A	Meets standards.
OAR 918-600 Manufactured Dwelling Parks and Mobile Home Parks				
124	No construction may be performed without first obtaining all required permits	918-600-0020	Y	Meets standards.

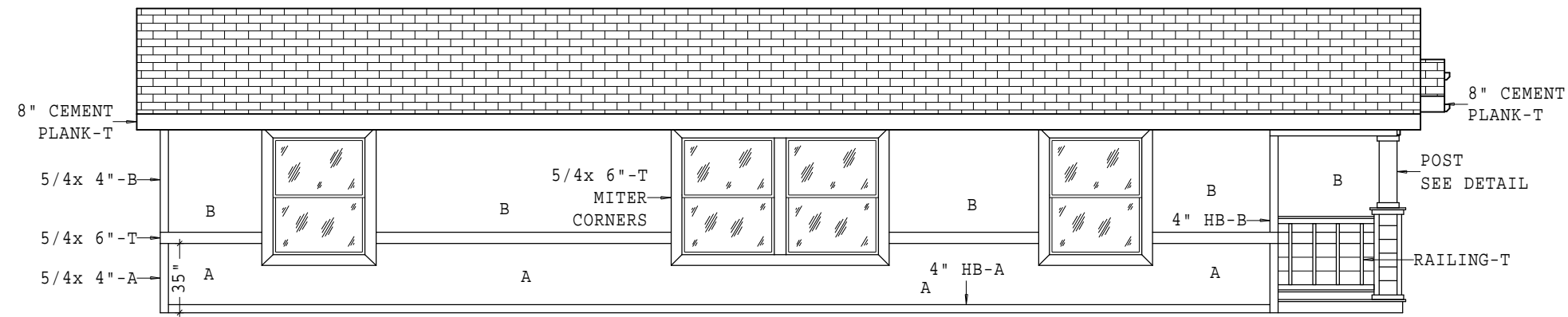


TYPICAL LOT LAYOUT
SCALE 1" = 10'

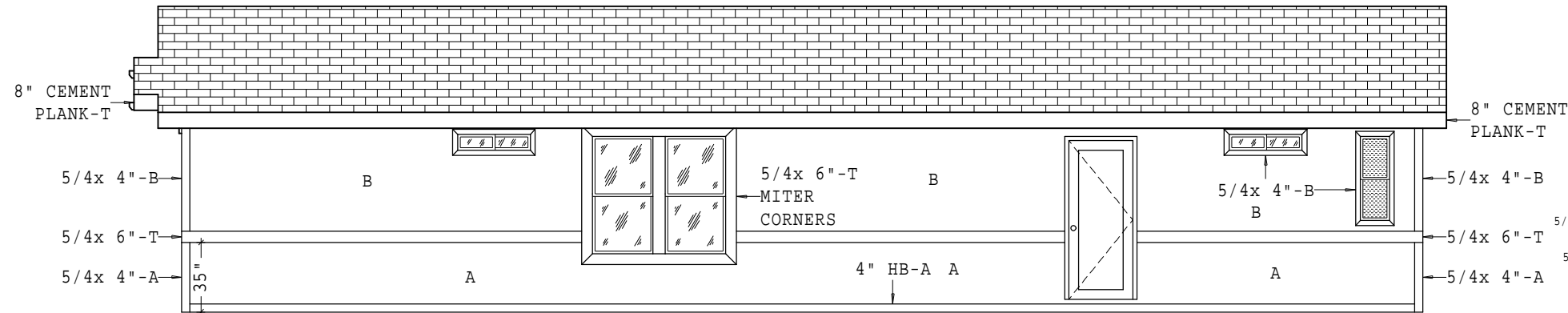


LEGEND

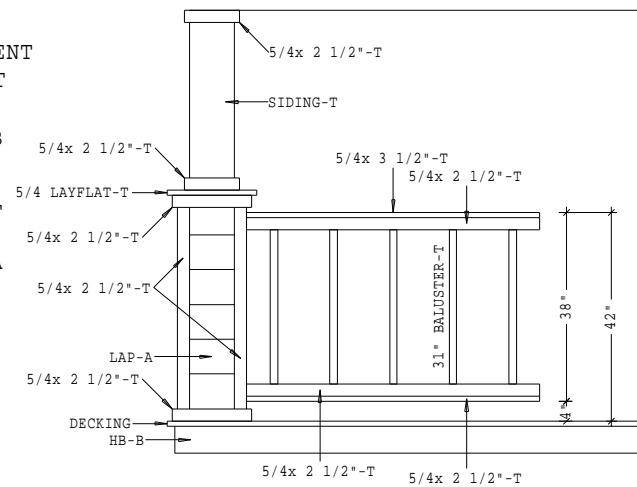
PROPOSED LOT LINE	---
PROPOSED ROAD CENTERLINE	---
PROPOSED ASPHALT	
PROPOSED ROOF	
PROPOSED AGGREGATE SHOULDER	
PROPOSED ASPHALT, GRAVEL OR CONCRETE DRIVEWAY	
PROPOSED CONCRETE DRIVEWAY APPROACH	
PROPOSED LANDSCAPING	



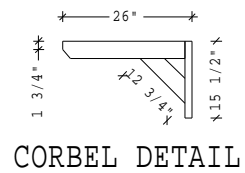
DOOR SIDE ELEVATION



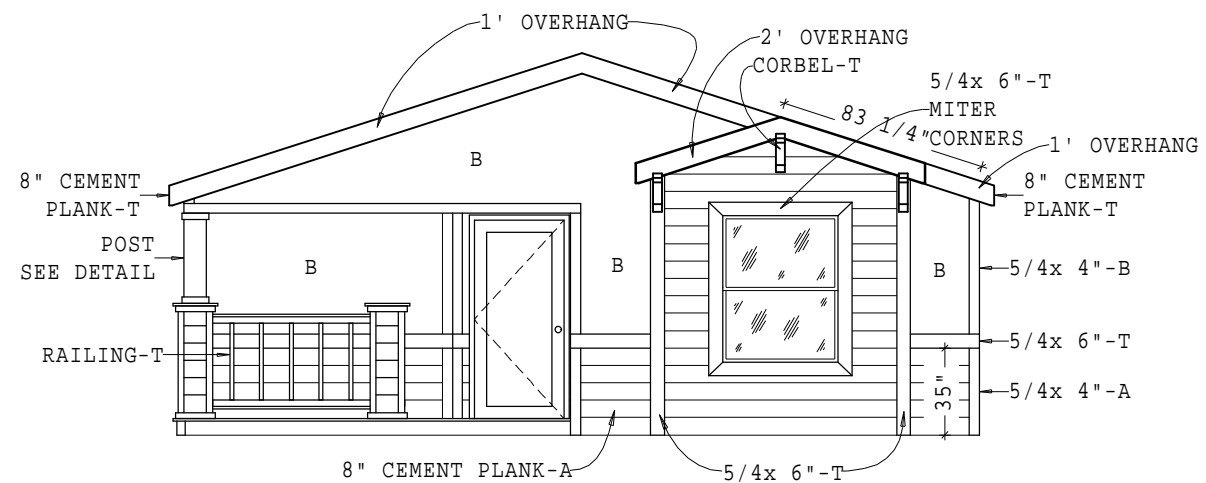
OFFDOOR SIDE ELEVATION



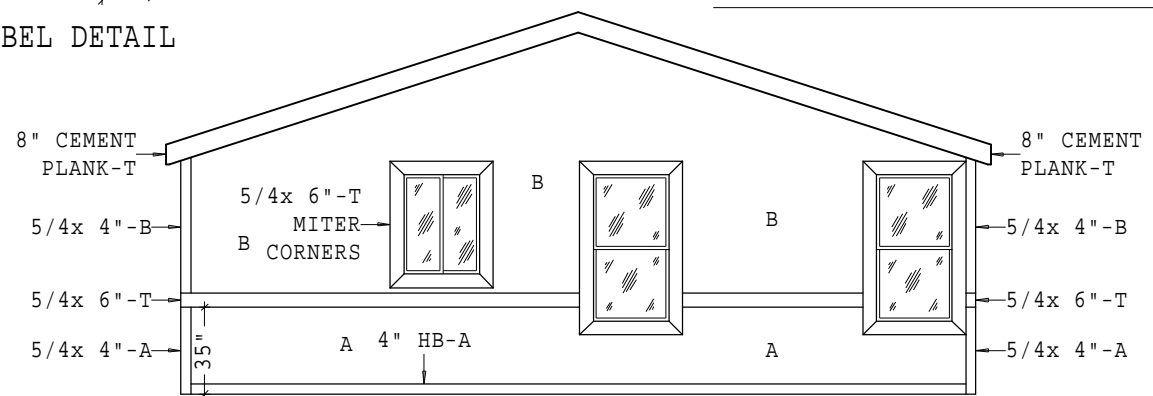
42" BUILT-OUT COLUMN DETAIL



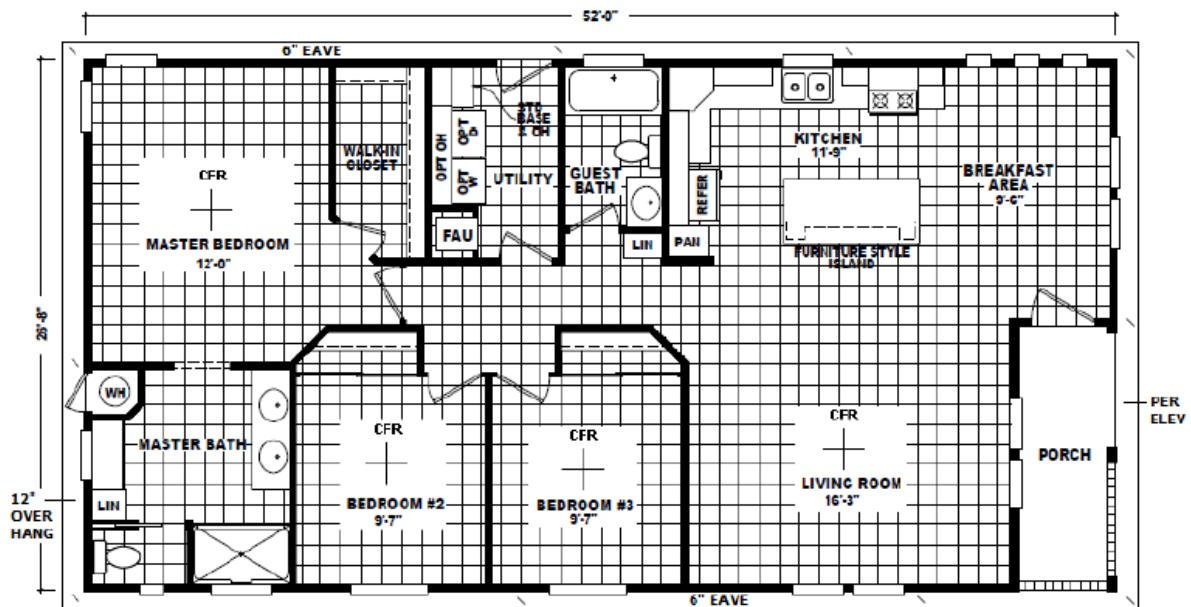
CORBEL DETAIL



FRONT ELEVATION

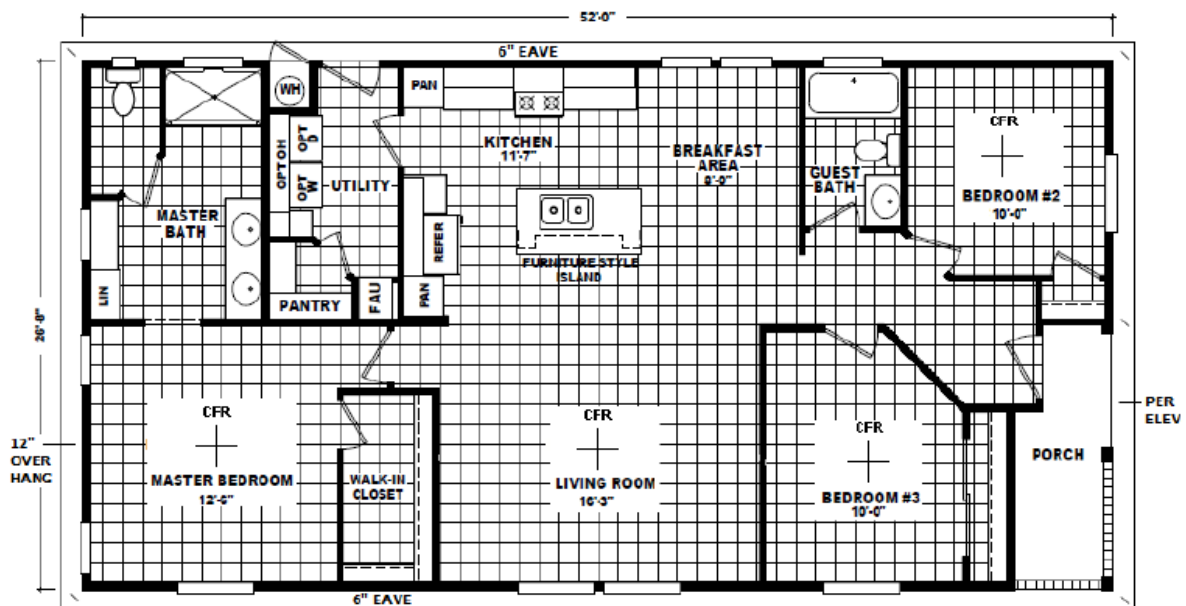


REAR ELEVATION



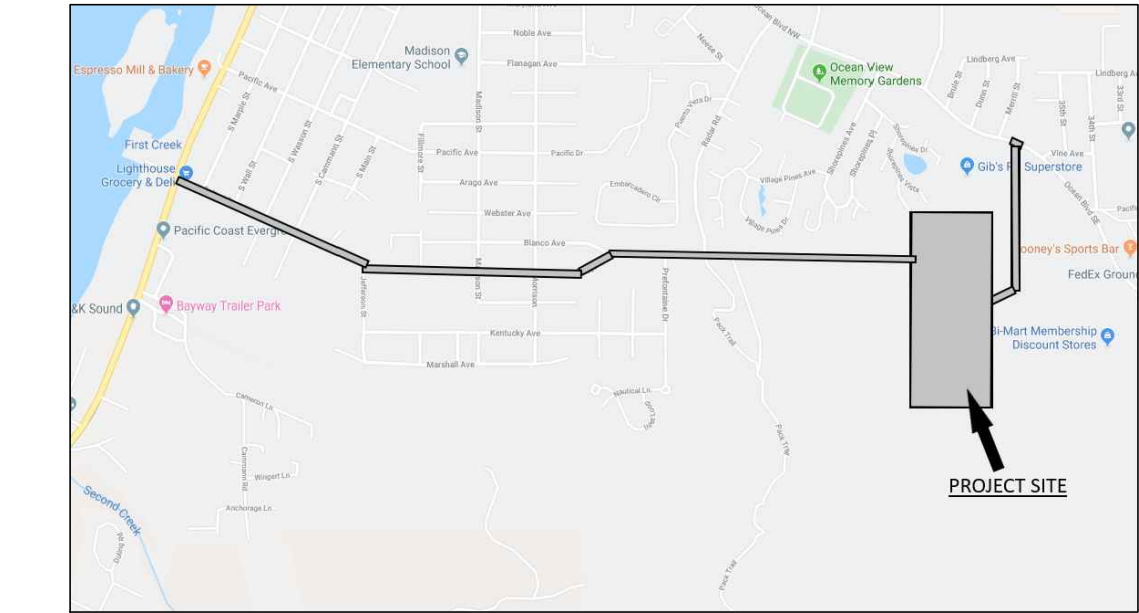
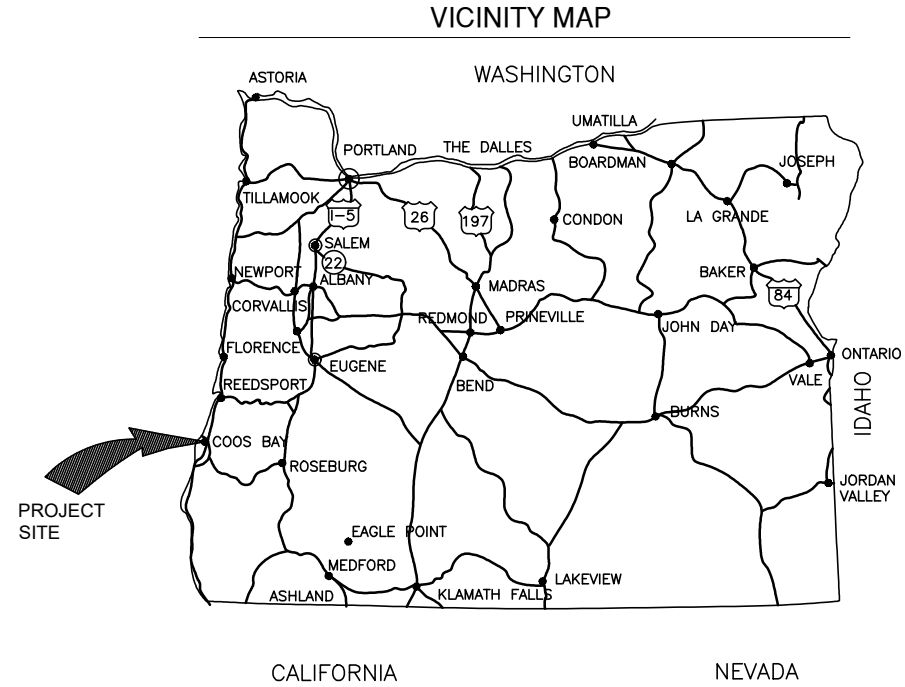
MODEL: VC-28523A

APPROXIMATELY 1386 SQ. FT. TOTAL
 APPROXIMATELY 1320 SQ. FT. LIVABLE
 3 BEDROOM, 2 BATH



MODEL: VC-28523B

APPROXIMATELY 1386 SQ. FT. TOTAL
 APPROXIMATELY 1326 SQ. FT. LIVABLE
 3 BEDROOM, 2 BATH



RED MOON DEVELOPMENT TIMBER COVE ESTATES

LEGEND		
EXISTING		PROPOSED
---	PROPERTY BOUNDARY	---
.....	LOT LINE
Δ 123	SURVEY CONTROL	
⊕	BENCHMARK	
▲	MONUMENT	
55	MAJOR CONTOUR	75
---	MINOR CONTOUR	---
---	CENTERLINE	---
---	EDGE OF PAVEMENT	---
---	EDGE OF SHOULDER	---
---	EDGE OF SIDEWALK	---
---	CONCRETE CURB AND GUTTER	---
ASPHALT PAVEMENT		ASPHALT PAVEMENT
CONCRETE PAVEMENT		CONCRETE PAVEMENT
AGGREGATE SHOULDER		AGGREGATE SHOULDER
X-X	FENCE	X-X
CATV	DATA LINE	CATV
T-T	TELECOMM LINE	T-T
G-G	GAS LINE	G-G
E-E	POWER LINE	E-E
●	POWER POLE	●
→	GUY WIRE	→
☀	LIGHT POLE	
☐	ELECTRICAL BOX	
W-W	WATER LINE	W-W
WM	WATER METER	WM
⚡	FIRE HYDRANT	⚡
	PROPOSED UTILITY	---

⚡	THRUST BLOCK	---
SD	WATER VALVE	---
SD	STORM LINE	---
⊕	STORM CATCH BASIN	⊕
⊕	STORM MANHOLE	⊕
⊕	STORM CLEAN OUT	⊕
→	FLOW ARROW	→
SS	SANITARY SEWER LINE	SS
⊕	SANITARY SEWER MANHOLE	⊕
⊕	SANITARY SEWER CLEANOUT	⊕
☀	TREE	☀
☐	STREET SIGN	☐
☐	MAILBOXES	☐
•EG 75.50	PAVEMENT MARKING	•FG 75.50
•EG 75.50	FINISH GRADE ELEVATION	•FG 75.50
---	GRID LINE	---
---	SAWCUT LINE	---
	PAVEMENT STRIPING REMOVAL	
~~~~~	CURB AND GUTTER DEMOLITION	~~~~~
XXXXX	ASPHALT PAVEMENT REMOVAL	XXXXX
SF-SF	SILT FENCE	SF-SF
☐	INLET PROTECTION	☐
---	SWALE	---
---	AGGREGATE ARMORING	---

PERMIT SET - NOT FOR CONSTRUCTION

C:\Users\vald\Flagline\Dropbox\Flagline\Projects\Red Moon Development\CAD\WORKING\1 TO 3 - COVER SHEET.dwg



**DISCLAIMER**  
THIS DRAWING IS INTENDED TO BE PLOTTED IN COLOR ON AN 11" X 17" SHEET. ADJUST SCALES ACCORDINGLY AND VERIFY COLOR LEGEND BELOW IS CORRECT:  
RED BLUE

NO.	DATE	BY	APPR	REVISIONS



**FLAGLINE**  
ENGINEERING

DATE:  
JANUARY 2020

PROJECT NO:  
1002.01

BEND OFFICE  
686 NW YORK DR, #100  
BEND, OR 97703  
541.797.6781

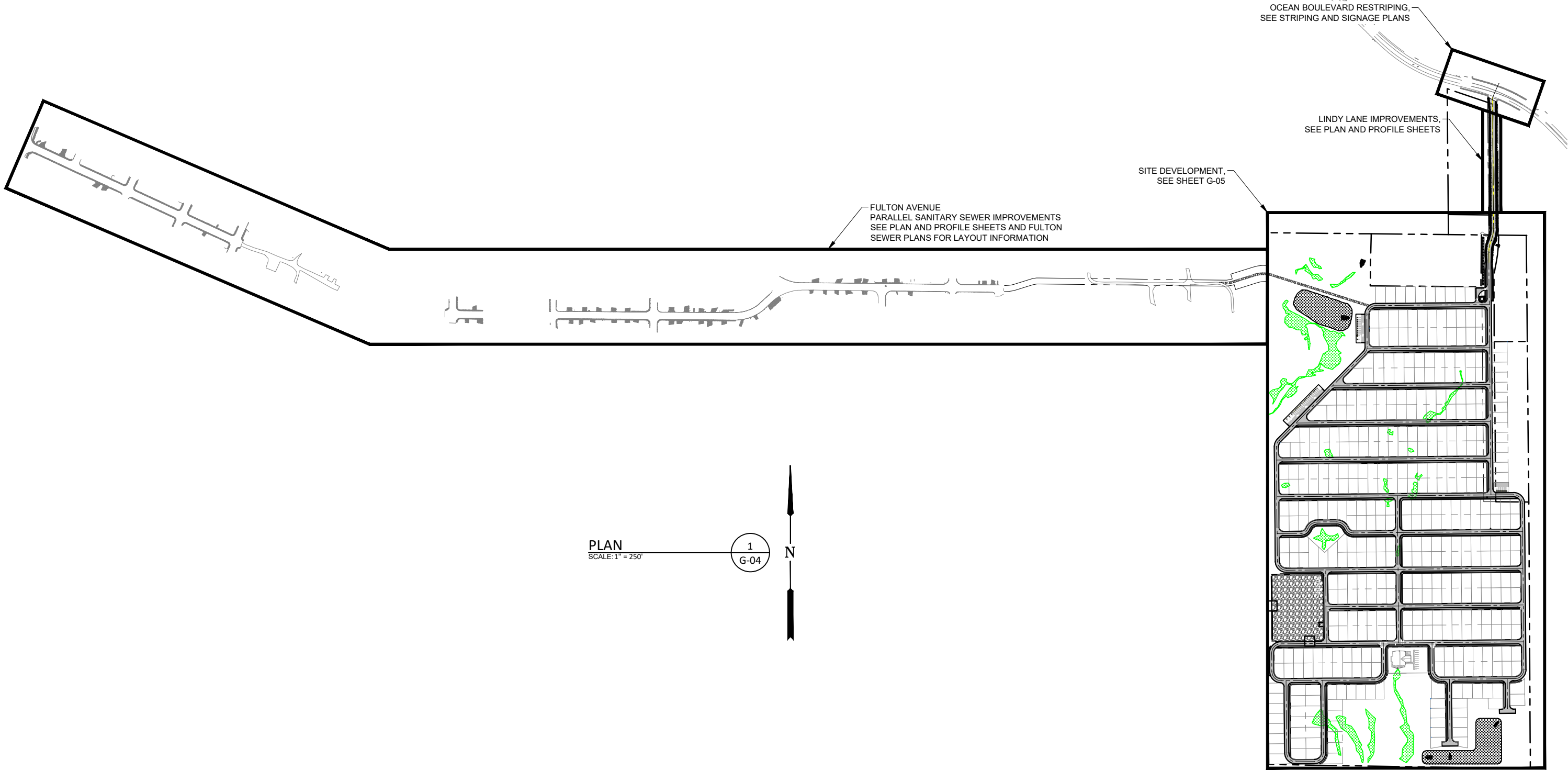
DESIGNED BY:  
VRO

DRAWN BY:  
KJB

CHECKED BY:  
JDP

SCALE:  
AS NOTED

TIMBER COVE ESTATES RED MOON DEVELOPMENT		DRAWING NO. G-01
COVER SHEET		



PLAN  
SCALE: 1" = 250'

1  
G-04



# PERMIT SET - NOT FOR CONSTRUCTION



250 0 250 500  
SCALE OF FEET  
SCALE: 1"=250'

**DISCLAIMER**  
THIS DRAWING IS INTENDED  
TO BE PLOTTED IN COLOR  
ON AN 11" X 17" SHEET.  
ADJUST SCALES  
ACCORDINGLY AND VERIFY  
COLOR LEGEND BELOW IS  
CORRECT:  
RED ■ BLUE ■

NO.	DATE	BY	APPR	REVISIONS



DATE: JANUARY 2020 PROJECT NO: 1002.01

DESIGNED BY: VRO  
DRAWN BY: KJB  
CHECKED BY: JDP  
SCALE: AS NOTED

TIMBER COVE ESTATES  
RED MOON DEVELOPMENT

OVERALL IMPROVEMENT PLAN

DRAWING NO.  
G-04

C:\Users\vald\Flagline Dropbox\Flagline\Projects\Red Moon Development\CAD\WORKING\4 TO 5 - SITE PLAN.dwg



PLAN  
SCALE: 1" = 100'

1  
G-05

PERMIT SET - NOT FOR CONSTRUCTION



100 0 100 200  
SCALE OF FEET  
SCALE: 1"=100'

**DISCLAIMER**  
THIS DRAWING IS INTENDED TO BE PLOTTED IN COLOR ON AN 11" X 17" SHEET. ADJUST SCALES ACCORDINGLY AND VERIFY COLOR LEGEND BELOW IS CORRECT:  
RED BLUE

NO.	DATE	BY	APPR	REVISIONS



DATE: JANUARY 2020  
PROJECT NO: 1002.01

DESIGNED BY: VRO  
DRAWN BY: KJB  
CHECKED BY: JDP  
SCALE: AS NOTED

TIMBER COVE ESTATES  
RED MOON DEVELOPMENT  
DEVELOPMENT SITE PLAN

DRAWING NO.  
G-05