

**CITY OF COOS BAY**

Public Works & Community Development Department
 500 Central Avenue, Coos Bay, Oregon 97420
 Phone 541-269-8918 Fax 541-269-8916

Permit No. 187- ____ - ____

Date Received: _____

LAND USE DEVELOPMENT REVIEW APPLICATION**For Office Use Only**

STAFF CONTACT

PROJECT NO(S).

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Legislative/Text Amendment | <input type="checkbox"/> Temporary Use |
| <input type="checkbox"/> Architectural Design Review | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Vacation |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Partition | <input checked="" type="checkbox"/> Variance (2 Variances) |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Estuarine Use/Activities | <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Subdivision | |

Pre-Application and Appeal applications require a different application form available on the City website or at City Hall.

Site Location/Address:

Hollering Place "Upper Bluff", including Wayside;
 Address of Proposed Cultural Building: 112 S. Empire
 Boulevard, Coos Bay, OR

Assessor's Map No./Tax Lot(s): 6000 and 6700

Zoning: Hollering Place District (HP)

Total Land Area: 39,875 square feet

Detailed Description of Proposal:

This application is to permit a Cultural Building that will connect with Hollering Place Wayside to present the history and culture of the Confederated Tribes of Coos, Lower Umpqua, and Siuslaw Indians (CTCLUSI), educate the community and visitors, and share Tribal culture. The intent is to connect this Cultural Building with a Planned Unit Development for the remainder of the Hollering Place site in a future application. A full description of the proposal, with analysis and findings to address the City of Coos Bay decision criteria is included as Attachment A.

Applicant/Owner Name:
(please print)Confederated Tribes of Coos, Lower Umpqua
and Siuslaw Indians

Phone: 541-888-7527

Address:

Alexis Barry
 1245 Fulton Avenue
 Coos Bay, OR 97429

Email: abarry@ctclusi.org

City State Zip:

Applicant's Representative:
(please print)

Hilary Baker, Design Associate - Project Manager

Phone: 541-269-9388

Address: Crow Clay & Associates Inc., 125 W Central Avenue, Suite 400

Email: hilary@crowclay.com

City State Zip: Coos Bay, OR 97420

1. Provide evidence that you are the owner or purchaser of the property or have the written permission of owner(s) to make an application.
2. Copy of the deed for the subject property. See Assessor's Summary, Nov. 6, 2019. Deed Reference 2019-7533.
3. Address the Decision Criteria or Goals/Standards outlined in the Coos Bay Municipal Code chapter(s) related to your request. See Attachment A.
4. Additional information: Date construction is expected to begin; estimated completion date of the total project and of individual segments; and anticipated future development. Construction is expected to start August 2020 and be completed June 2021.
5. Type II requires three (3) **complete hard-copy sets** (single sided) of application & submitted documents must be included with this application. **One (1) complete set** of digital application materials must also be submitted electronically or on CD in Word format. Additional copies may be required as directed by the Coos Bay Director of Community Development.
6. Type III requires **Ten (10) complete hard-copy sets** (single sided) of application & submitted documents must be included with this application. **One (1) complete set** of digital application materials must also be submitted electronically or on CD in Word format. Additional copies may be required as directed by the Coos Bay Director of Community Development.

Per City of Coos Bay Resolution 19-19, a 5% Technology Fee will be assessed on all permit and plan review fees.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Coos Bay Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Alexis Barry
 Applicant's signature

11/8/19
 Date

[Signature]
 Owner's signature (required)

11/8/19
 Date



CULTURAL BUILDING

AERIAL VIEW FROM SOUTH
WEST.
ATTACHMENT O

Supplemental Information and Analysis Findings to Address Decision Criteria

Applicants and Owners:

Confederated Tribes of Coos, Lower Umpqua & Siuslaw Indians
(CTCLUSI)
1245 Fulton Avenue
Coos Bay, OR 97420

See Attachment B, Coos County Assessor's Summary Report/Real Property.

Hollering Place Map Descriptions and Proposed Development:

Subject Property:

Hollering Place "Upper Bluff"
T25S, R13W, Sec. 20BB, Tax Lots 6000 and 6700

Address of proposed Cultural Building:
112 S. Empire Boulevard, Coos Bay

*Tax Lot 6700 is the existing Hollering Place Wayside.
Tax Lot 6000 is vacant.*

See Attachment C, Coos County Tax Lot Map.

Future Phased Development Property:

Hollering Place "Lower Bench"

This property that will be the subject of phased development in the future is in ownership of the City of Coos Bay. The property will be proposed for development as set forth in the Disposition for Development Agreement (DDA) between CTCLUSI and the City of Coos Bay. Properties in the Lower Bluff area, T25S, R13W, Sec. 19AA, Tax Lots 300 and 301, are not subject of this application.

Professionals Services:

Architect and Project Manager:

Crow Clay & Associates Inc.
125 W. Central Avenue, Suite 400
Coos Bay, OR 97420

Hilary Baker, Design Associate: Project Manager
Phone: (541) 269-9388
E-Mail: hilary@crowclay.com

Civil Engineer:

Stuntzner Engineering and Forestry
705 S. 4th Street
Coos Bay, OR 97420
Mark Hampton, PE

Phone: (541) 267-2872
E-mail: mhampton@stuntzner.com

Mechanical & Electrical:

CBD Engineering LLC
35468 Riverside DR SW,
Albany, OR 97321

Phone: 541 619 7287
E-mail: bohito@yahoo.com

Landscape Architect:

Dougherty Landscape Architects
474 Willamette St., Suite 305
Eugene, OR 97401
David Dougherty, PLA

Phone: (541) 683-5803
E-mail: david@dladesign.com

Traffic Engineer:

Sandow Engineering
160 Madison Street
Eugene, OR 97402
Kelly Sandow, PE

Phone: (541) 513-3376
E-mail: kellysandow@sandowengineering.com

Planner:

Shoji Planning, LLC
P.O. Box 462
Coos Bay, OR 97420
Crystal Shoji, AICP; Senior Planner

Phone: (541) 267-2491
E-mail: crystal@shojiplanning.com

Proposal

This application is to permit a Cultural Building that will connect with Hollering Place Wayside to present the history of the CTCLUSI, educate the community and visitors, and share Tribal culture. The development located at the southwest intersection of Newmark Avenue and Empire Boulevard will serve as a focal point of the Empire community and a gateway to a future Planned Unit Development (PUD) on the site.

Access to the Cultural Building is proposed to be from the existing Hollering Place Wayside (Wayside) entrance access from Empire Boulevard. The design of the Cultural Building will be evocative of the traditional Plank house – stick framed with wood siding, storefront windows and a standing seam metal roof. Deliveries from UPS, Fedex, and others will take place intermittently to serve the need. The Cultural Building is anticipated to be open 7 days a week from 9:00 a.m. – 5:00 p.m., and selective evenings till 9:00 p.m. for educational and/or community events.

On-site improvements will include the following:

- Walkways and general pedestrian circulation hardscape
- Crosswalk striping from the north side of Newmark Avenue across Empire Boulevard
- Exterior landscaping features and furniture
- Interpretive signage
- Exterior lighting
- Signage
- Artistic features including, but not limited to story poles and sculptures
- Play area near the south entrance to the Cultural Building opening to the public plaza

Subject Property and the Environment

- The intersection of Empire Boulevard and Newmark Avenue / Cape Arago Highway to the east.
- Commercial retail and residential to the south.
- Commercial retail and residential to the east.
- Newmark Avenue and vacant lots to the north.
- Mill Street and the area for the future Tribal PUD to the west.

See Attachment D1, Aerial Vicinity Map.

Note: In this application, words quoted from the Municipal Code are shown in *italics*. Findings, analysis and information prepared or paraphrased as part of the application by the Applicant are provided in regular font (not italicized).

Coos Bay Municipal Code, City of Coos Bay Development Code

Chapter 17.150

DEFINITIONS

17.150.010 Definitions

Civic use types – The performance of utility, educational, recreational, cultural, protective, governmental, and other uses which are strongly vested with public or social importance

Findings:

The proposed Cultural Building is a civic use type for educational, recreational, cultural and Tribal governmental use. The proposed use is strongly vested with public and social importance.

Section 17.347.010 Purpose of a conditional use

There are certain uses which may be generally similar and appropriate within a given zone, but which, due to the nature of their potential impacts on surrounding land uses and public facilities require a case-by-case review and analysis. . .

City staff provided options for permitting in this civic use type, the Cultural Building, for educational, recreational, cultural and Tribal government use on Subject Property. The applicants will utilize the conditional use permit process. Analysis for the Conditional Use process is included within this document. In addition, this application provides the analysis for two variances, making this a consolidated application under Oregon law. Subject Property is zoned Hollering Place District (HP) in Title 17 of the Municipal Code, Coos Bay Development Code, Section 2. Zoning, Chapter 17.250. There are no applicable overlay zones. There are, however, a number of other chapters and procedures within the code that apply; the intent has been to address applicable code sections and provide analysis within this document:

Chapter 17.250

HOLLERING PLACE DISTRICT (HP)

17.250.010 Intent.

The area encompassed by the Hollering Place zoning district is intended to be developed as a planned unit development (PUD) based on the guidelines and requirements outlined below and the Hollering Place master plan. A cohesive design celebrating historic seaside architecture, reclamation of native shoreline habitats, sustainability,

interpretation of local history and reconnection to the water are unifying elements relevant to the zoning district.

Findings:

Subject Property is within the Hollering Place zoning district. At this time, the intent is to develop a Cultural Building to provide a gateway to the future Hollering Place PUD on the Lower Bench site and also connect with the Hollering Place Wayside that already exists. The Hollering Place Wayside currently provides interpretation of the site in relation to local Tribal history.

It is the Tribes vision and intent to organize a PUD on the upper and lower lots in the future. At that time the Cultural Building and Hollering Place Wayside will connect with new development to continue with the vision of the Hollering Place zoning. The approved buried sheet pile wall on the Lower Bench site was the first step. In this application, the Cultural Building is being connected with the Hollering Place Wayside, the beginnings of an organized cohesive design that celebrates historic Tribal culture, interprets history, and “provides reconnection to the water.” The Tribes plan to unify elements that are relevant to the zoning district as described within Section 17.250.010 Intent.

Development on the site must complement and connect with the existing business district to the east and act as a catalyst to help spur additional development and investment in the Empire area. A small-scaled gateway development near the intersection of Newmark Avenue and Empire Boulevard should act as a connection to the existing business district and as an entry statement signaling the presence of the remainder of the project. Preserving and enhancing views is a key component and must be balanced with achieving the right development mix and ensuring access for people and vehicles. The myriad of weather and environmental factors is also significant, as is making sure the new development is complementary to adjacent uses.

Findings:

The Hollering Place District (HP) provides standards for uses so that the development will complement and connect with the existing business district to the east and act as a catalyst to help spur additional development and investment in the Empire Area. The use proposed at this time is the gateway development near the intersection of Newmark Avenue and Empire Boulevard. This development will act as a connection to the existing business district and as an entry statement that will in the future signal the presence of the remainder of the project. The applicant intends to comply with the requirements of the HP to achieve a development that is significant and complementary to adjacent uses.

The master plan referred to herein was prepared not as a detailed requirement, but as an example of the uses, property organization and development, site design, and architectural form and composition that can meet the intent of this code.

Findings:

The HP zoning is more specific than the 2008 Hollering Place Master Plan regarding architectural form and composition, organization of property and uses. The Master Plan provides examples to comply with the intent of the code. This application recognizes the example of the Hollering Place Master Plan, and the need to comply with the requirements of the HP zone.

17.250.020 HP zoning subdistricts.

The Hollering Place (HP) district shall be made up of two subdistricts, described as follows:

(1) HP-1, Upper Bluff Area. The upper bluff area encompasses the area west of Empire Boulevard, south of Newmark Avenue for a distance of approximately 225 feet, and east of the HP-2 subdistrict at the bottom of the bluff. This area contains approximately 0.84 acre (36,779 square feet).

Findings: The HP-1 upper bluff area applies. The Tribes are proposing a 4,300 square foot Cultural Building to be located north of the Hollering Place Wayside on HP-1, upper bluff area.

(2) HP-2, Lower Bench Area. The remainder of the zoning district includes the area at the bottom of the bluff east of Mill Street for a distance of approximately 260 feet south of Newmark and the area west of Mill Street, south of Newmark Avenue, east of the mean high-water line and north of Holland Avenue. This area contains approximately 2.11 acres (92,049 square feet). The area west of Mill Street and east of the mean high-water line is also designated Coos Bay estuary management plan 54-UW (urban water-dependent).

Findings: There is no development proposed on HP-2, Lower Bench Area at this time.

17.250.030 HP-1, upper bluff area.

(1) The Hollering Place master plan recognizes that connection to the existing Empire business district is critical. Small-scaled gateway development near the intersection of Newmark Avenue and Empire Boulevard should serve as an anchor and entry statement signaling the remainder of the project. Preserving and enhancing views is a key component along with ensuring access for people and vehicles. Suggested uses in the area include, but are not limited to, the following:

- (d) Visitor information service;*
- (e) Retail sales;*
- (f) Office/reservations for lower bench area uses; and*
- (g) Library service and cultural exhibit.*

Findings:

The Cultural Building will include visitor information services, retail sales, office reservations for lower bench area uses and cultural exhibits, which are listed as suggested uses within the Hollering Place Master Plan, and incorporated into the zoning. This document will address the requirements of the HP-1 to create the development that is described. The Cultural Building will enhance the Hollering Place Wayside and take advantage of views as a key component of the site. Details are provided in response to code language. The Cultural Building has been designed with a narrow footprint to minimize obstructing views from the highway and the Empire community. Extensive glass on the west elevation maximizes panoramic views of the Bay.

Not more than 15 percent of the HP-1 area shall be occupied by structures. A structure must occupy a footprint of not more than 1,500 square feet; however, lot area may be used for incidental use of the structure, such as outdoor seating and viewing. At least 75 percent of the HP-1 area must be dedicated to preserving and enhancing the views, and without cost to the user, parking and open space (trails, interpretive signage, kiosks, landscaping, etc.) for the outdoor enjoyment of the view and surrounding area.

Findings:

The structure is proposed to be 4,300 square feet. A variance to address the square footage footprint requirement of “not more than 1,500 square feet is included within the response to Chapter 17.347 Conditional Uses, included further along within this document.

The lot where the Cultural Building will be located is 20,000 square feet in size. This application is combining the existing Hollering Place Wayside and the Cultural Building lot for a total of 39,875 square feet. The lot coverage with the proposed Cultural Building is thus approximately 11% when 4,300 square feet is divided by 39,875 square feet. This provides more than 89% for outdoor enjoyment of views and the surrounding area.

When the 20,089 square foot lot, not including the Wayside, is divided into the 4,300 square feet that is to be the footprint of the Cultural Building the lot coverage is 21.5%, the amount dedicated to preserving and enhancing views is more than 78%.

The application complies with the requirement for more than 75% of the area dedicated to preserving and enhancing views.

See Attachment D1, Site Plan for Cultural Building.

(2) Architectural Character.

- a. A main building is intended to be a landmark on the bluff near the intersection of Newmark Avenue and Empire Boulevard and serve as an attractor for the activities of the lower portion of the site without compromising views of the bay from Newmark Avenue and Empire Boulevard.*

Findings:

The proposed Cultural Building located at the intersection of Newmark Avenue and Empire Boulevard will serve as an attractor for the activities on the lower portion of the site. There will be minimal impact to views from Newmark and Empire as the building is single story with a narrow east west axis. It will be the most visible building of the future development, and the gateway to the future development.

The Building will utilize selective materials and geometry evocative of a traditional plank house. The same materials and geometry will be used for the future PUD on the Lower Bench site to provide a cohesive appearance to the completed development. The east and west elevations will be glazed, providing not only views into the building and activities within the building from Newmark Avenue and Empire Boulevard, but also views out to the Bay on the west side. Colors of exterior building materials will be subdued to provide a backdrop for activities, interpretive signs and art features on the upper bluff. The building will be designed with a long axis east/west (approximately 38 feet in width), so that it appears narrow, and minimizes obstructing views from Empire and Empire Boulevard.

- b. Commercial uses should open onto Empire Boulevard with functional doors and windows, canopies/awnings, recessed entrance doors, and attractive signage at an appropriate scale to the building. Parking is to be located to the south of the landmark building.*

Findings:

This is a civic use as opposed to a commercial use, so the language does not directly apply. While the language refers to commercial uses, this application is for a civic building. The main entrance to the Cultural Building will be on the south side of the building, and will link to the northeast corner of the site with an attractive landscaped pedestrian path/sidewalk. The intent is to provide functionality within the narrow building, and to have the entrance immediately visible to parking, which is located to the south. The Cultural Building is a gathering place and a tourist attraction that will be visible and attractive to the public. Findings for a Variance are included within this application to allow for the entrance to the building to be located on the south side.

17.250.070 Property development requirements.

The property development requirements shall apply to all development in the HP district:

- (1) Building Height. Buildings shall be arranged and built to maximize the view of the bay, water and water access, and the North Spit.*

Findings:

The Cultural building will maximize views of the Bay, water, water access and the North Spit since it is a single story, low building with a narrow east/west axis. At the east end of the building the finished floor slab will be below the sidewalk grade on Empire, reducing

the visual mass of the building. The west elevation of the building is almost totally glazed, allowing unobstructed panoramic views from within the building.

(a) HP-1 Zoning Subdistrict. Buildings shall be no more than 25 feet in height from grade to the highest point on the roof.

Findings:

The building height will be less than 25 feet from finished grade to the highest point on the roof.

(2) Yards. Setbacks are regulated by state building codes. Setbacks from the line of nonaquatic vegetation are regulated by Coos Bay estuary management plan, Policy 23.

Findings:

The applicants will comply with all state building code setbacks. The line of nonaquatic vegetation and policies of the Coos Bay Estuary Management Plan are not pertinent to this application because subject property is not within the jurisdiction of the Coos Bay Estuary Management Plan. The U.S. Army Corps of Engineers has provided an e-mail confirming that they do not have jurisdiction.

See Attachment D1, Site Plan for Cultural Building (includes setbacks).

See Attachment E – Email from U.S. Army Corps of Engineers.

(3) Screening. Mechanical equipment, outdoor storage areas, utility vaults, refuse storage, fuel storage tanks, fire check valves, service and loading areas, and the like, shall be located out of view from the general public and shall be screened in a manner so that they are not visible from adjacent streets, public pedestrian walkways, the water, or the upper bluff area. Satellite dishes and mobile communications cell sites shall be screened and located in such a manner so as to reduce visibility from adjacent roadways, pedestrian ways and the bluff.

Screening devices must be designed to directly relate in materials, character, finish, color and detail to the primary structure. Landscaping may assist in screening enclosures and equipment/utility storage areas. Screening should not result in hiding places or entrapment areas.

Findings:

There will be no visible outdoor storage. Utility vaults will be buried. Mechanical equipment will be located on a platform at roof level concealed by the profile of the roof, and therefore will not be visible from the ground. The feasibility of photovoltaic panels are being considered for the south-facing roof. There will be no fuel storage tanks. Fire check valves, back flow preventers, gas and electric meters and satellite dishes will be located as required by the relevant utilities and codes. Screening/disguise will be attempted within the code of the authority having jurisdiction.

Trash will be stored in a room within the building and brought out on the day that garbage is collected or disposed of by Tribal staff. With trash stored within the building and brought out when it is time for pickup, screening enclosures, hiding places or entrapment areas are not applicable.

(4) Utility Lines. Utility lines, including, but not limited to, those used for electricity, communications, street lighting and cable television, shall be placed underground. The director may waive the requirements if topographical, soil or other conditions make such underground installation or screening of aboveground equipment impracticable.

Findings:

All utility lines including electricity, communications, and cable television will be placed underground on the site as feasible and permitted.

Backflow preventers will be above ground, as required by the Coos Bay North Bend Water Board, and will be screened with covers and/or landscaping as feasible. Gas and electric meters will be above ground, in as discreet a location as permitted by the utility company.

Street lighting is not part of this application. but site lighting is addressed. Discrete night sky light fixtures will be provided. All wiring to the light fixtures will be buried.

See Attachment I, Lighting Plan, Illumination and Light Fixture Examples.

(5) Drive-through windows are prohibited.

Findings:

No drive-through windows are proposed.

(6) Murals are prohibited.

Findings:

No murals are currently proposed on the outside of the Cultural Building.

(8) Historical Elements. The “story trail” concept in the Hollering Place master plan, which describes the Hollering Place and its history, shall be exhibited at different interpretive points of interest throughout the HP zoning district. Developers will be required to set aside space to accommodate historical elements such as the story trail and interpretive signs. The location of the elements must be determined at the time of the PUD.

Findings:

The purpose of the Cultural Building is to include and accommodate “story trail” elements within the Cultural Building. Interpretation of the Tribal history through stories, artifacts and digital formats will provide information for Tribal members and visitors.

The proposal is for landscaped sidewalks with benches and art features from the Newmark Avenue / Empire Boulevard corner to the main entrance.

The sawblade trail marker at the Wayside will be preserved. The Daughters of the American Revolution marker location will be adjusted in cooperation with the local DAR organization. New interpretive signage will be installed. Additional historical elements will be determined and coordinated at the time of the application for the future PUD.

A children's playground incorporating play features from the natural environment that are of significance to tribal culture will be provided at the south end of the Wayside.

(9) Parking. All parking areas must be supported by landscape buffers. Parking in HP-1 must be located on the southern portion of the area and visually subdued from Empire Boulevard with low-growing plant material. Except for residential uses, off-street parking requirements as set forth in Chapter 17.330 CBDC do not apply for the HP zoning district.

Findings:

All parking is supported by landscape buffers. Existing landscape buffers at the Wayside lot will remain. An additional planter bed will be added to the north of the existing Wayside parking. There will be a landscape buffer added on the east side of the building along the west side of Empire. All planting will be native and/or of cultural importance to the Tribes.

This proposal does not include residential use, and therefore the off-street parking requirements of Chapter 17.330 do not apply.

See Attachments D1, Site Plan for Cultural Building.

See Attachment L, Landscape Plan.

See Attachment G, Planting List.

17.250.080 Site design, guidelines and standards.

All development in the HP district shall be consistent with the intent of the master plan and with the site design, guidelines and standards listed in this section. Site design shall respond to environmental, cultural and historic site features by taking advantage of existing view corridors, land use patterns, landforms, prevailing winds, and water-related activities. Long-term sustainable practices should be a focus, including marine resource protection, restoration of native plant communities, and habitat enhancement.

(1) Vehicle Circulation. The existing street patterns, access points and rights-of-way off of Empire Boulevard shall remain. The primary entry point to the lower development will be from Newmark Avenue with a secondary access along Mill Street off of Michigan Avenue. Access to existing businesses and uses will remain, but will be modified to support on-street parking. Existing access to the boat ramp and parking lot shall remain.

Parking along Holland Avenue, the south property line of the subject property, shall remain as boat ramp parking.

Findings:

Access points and rights-of-way will remain the same as those that currently exist. The cultural building will be accessed from Empire Boulevard at the Wayside. No access changes to the Wayside or the lower bench area are proposed. The Traffic Impact Analysis has determined that no modifications to existing traffic patterns are required for the development of the Cultural Building and the remainder of the future development.

See Attachment H, Traffic Impact Analysis.

(2) Pedestrian Circulation. Pedestrian connectivity and continuity should be provided throughout the project with clear crosswalks, curb cuts that meet code, and adequate lighting. Provide high-quality site furnishings suitable for coastal environments with long life and low maintenance.

Findings:

Site drawings illustrate the pedestrian plan including the crosswalks, curb cuts, and lighting. Pedestrian circulation, connectivity and continuity will be provided within the development along with pedestrian accesses to the site. A future pedestrian crossing will be provided on Newmark Avenue to connect with the existing sidewalk on the east side of the Cultural Building. A future striped crossing will be provided across Empire Boulevard at north side of the intersection with Newmark. Crosswalks with curb cuts will comply with the City code and ADA requirements.

See Attachment D1, Site Plan.

See Attachment L, Landscape Plan.

Low (Bollard) lighting will be provided in the landscaped areas to maintain ambiance and provide for safety and security at the site, and contribute to a favorable ambiance. Soffit lights will be provided in the eaves of the building. These lights will provide wall washing and add to the illumination and ambiance of the site. Benches and bike racks that are finished to be low maintenance and to withstand the coastal environment will be provided.

See Attachment I, Lighting Plan, Illumination and Light Fixture Examples.

See Attachment J, Landscape Furniture Examples.

(3) Historic Elements. The installation of interpretive panels are to celebrate early Hanisitch settlements and stories; early settlers and industries; estuary and wildlife themes. During the PUD process, the developer will set aside designated space where the panels and story trail will be located. The creation, installation and maintenance of panels and trail will be the responsibility of the city as development occurs.

Findings:

Existing interpretive signs will be refreshed and/or reused. The “Women of the Revolution” installation will be incorporated along the new wayside path in cooperation with the local chapter of the DAR. The landscape plan identifies locations for future art to be consistent with the interpretive signs and art that will be included on the lower lot when the PUD is organized. The long-term plan is to create a consistent cohesive appearance throughout the development.

(4) Landscape. All landscaping plans, including the plan for irrigation, shall be approved by the approving authority and installed and subsequently maintained in good condition and in perpetuity by the owner of the property. The landscape plan should reflect a theme (continuity) to be carried out throughout the development. For example, two to three large tree types, four to six shrub types, evergreen and deciduous framework, and color and highlights. Maintenance shall include, but not be limited to, watering, pruning, trimming, mowing, debris and weed removal, and, if necessary, replanting or replacement of failed landscape elements. Failure to maintain the landscaping in good condition shall be considered a violation of this code. Landscaping must not result in hiding places or entrapment areas or create a danger to pedestrians.

(a) Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity. Trees and shrubs used shall be selected from varieties compatible with the southern Oregon coast climate and which do not have destructive root systems which could damage either buildings or paved surfaces. Where parking lots abut buildings, foundation plantings are required.

(b) The landscaped area shall be planted with shrubs and/or ground cover to assure 50 percent coverage within one year and 90 percent coverage within five years. All landscaped areas should be planted and uniformly mulched.

Findings:

The theme will be a focus on native plants that have cultural significance to the Tribes. This theme will be carried out throughout the development. This will include trees in appropriate places that will not obscure views, shrubs, with both evergreen and deciduous trees. A maintenance plan will be incorporated by the Tribes to assure that their presentation is always appealing and interesting. This will include an irrigations system, regular pruning, trimming, weed removal, and replanting as required. Low plantings will be in scale with adjacent buildings and the size of plants at maturity will be taken into consideration at the time of planting. Maintenance, and lighting will assure that entrapment areas do not create a danger to pedestrians. Plantings will typically be low to preserve views, but in quantities and density to soften the parking, walkways and building.

Landscaping plants will include those that are culturally important to the Tribes and those that traditionally grow within the area. Future interpretive signing will explain which plants are used for basket weaving, medicinal purposes, cooking and other. The existing

Wayside bioswale will be enhanced and expanded. An additional viewing area will be added on the west side to bring visitors closer to the panoramic views.

A children's playground will be provided in the southwest corner of the site. Features will be evocative of themes occurring in nature, and also be part of the interpretation of the site.

Plants will include shrubs and ground cover that will grow and thrive to assure 50% coverage within one year and 90% coverage within five years have been selected. All landscaped areas will be planted and uniformly mulched.

See Attachment L, Landscape Plans, Sheet LA.2, Landscape Plan, Planting List, Irrigation Proposal.

17.250.090 General design guidelines and standards – Architectural form and composition.

Establish visual linkages between the Empire business district and development on the bluff along Empire Boulevard, the various development areas on the lower site, views to the bay, and potential future development on adjacent sites. Design and locate buildings to minimize the effects of undesirable bay winds at ground level. The following design guidelines and standards are provided for all development in the HP zoning district:

(1) Respond to public streets and public spaces. Along pedestrian routes, design development to encourage use by pedestrians by providing a safe, comfortable, and interesting walking environment.

Findings:

Hollering Place Wayside is already established as a public space along a major street and pedestrian route. The proposed Cultural Building will enhance the public space and walking environment that exists, providing a focal point and an interesting walking environment for the Empire business district. The Cultural Building on the upper bluff will attract visitors and provide space for community meetings and Tribal functions creating a safe and comfortable space.

Pedestrian crosswalks across Newmark Avenue and Empire Boulevard will provide additional pedestrian connectivity to the site. Sidewalks are provided around the proposed Cultural Building and are designed at the Northwest corner for future connection to the lower bluff area.

(2) Architectural Character. The desired architectural character of the Hollering Place project is that of vernacular maritime or fishing villages. Examples of this include the many seaside villages and destinations in New England, such as Nantucket, and some of the small towns on the Oregon coast, such as Cannon Beach and Nye Beach, and the Oregon Institute of Marine Biology (OIMB).

Findings:

Hollering Place is the historic location of a native village, which existed prior to European settlement at the site. Education and interpretation of Tribal culture will

provide the Tribal historical architectural character. The Cultural Building will be evocative of a traditional plank house building. The outside and inside of the building will share a common character and theme that celebrates the history and ecology of the site and enjoys the sense of place on this particular site on the Oregon Coast.

Design and scale buildings for their function and with respect to their context. Building elevations shall be articulated; long, continuous, unbroken wall and roof planes should be avoided. Architectural detailing and ornamentation, such as cornices, eaves, recessed or covered entryways, and awnings, are encouraged.

Findings:

The typical plank house was long and low with little detail. Cornices and awnings are European- style architectural detail, and for that reason, they are not proposed for this Cultural Building. The Building will have overhanging eaves. The walls will be vertical wood plank siding with a traditional basket weave pattern burnished into the wood. The intention is to mount photovoltaic panels on south-facing roofs on the low slope provided they are determined to be viable.

(a) Attention shall be paid to the following architectural elements:

(i) Building form and massing;

Findings:

The east side of the Cultural Building will be approximately 3 feet-below the grade of the sidewalk on Empire thus reducing the impact of the building mass as viewed from Empire. The building form is evocative of the traditional plank house, and the lower grade elevation is consistent with a plank house siting. As described previously in this application, the building is designed with a long east/west axis which makes it appear narrow to take advantage of views. Architectural elements have been organized to maximize views and minimize massing.

(ii) Building height;

Findings:

In Section 17.250.070 which provides property development requirements in the HP district, the code states that buildings shall be arranged and built to maximize views of the bay, water, water access and the North Spit. Buildings are to be no more than 25 feet in height from grade to the highest point on the roof on all sides. The Cultural Building does not exceed 20 feet at the highest point from the regraded site.

(iii) Rooflines and parapet features;

Findings:

The roofline of the Cultural Building will be broken up with a projecting gabled entrance. The main roof will be divided into two sections. The center of the roof will have a mechanical well to conceal equipment.

(iv) Special building features (e.g., towers, porches, entries, canopies, signs, and artwork);

Findings:

The projecting entrance is gable-ended. A basket-weave pattern will be burnished into the wood siding. Future artwork will be proposed for the north elevation.

(v) Window size, orientation, and detailing;

Findings:

Storefront windows are proposed for the east and west elevations. The windows are almost the full width and height of the elevations. The east and west elevations are all glazed windows. Window glazing is clear with UV protection to allow for unrestricted views from within.

(vi) Materials and color; and

Findings:

The Cultural Building will have wood siding with standing seam metal roofing. Colors will be muted grays, silver and blue-green tones to blend with the coastal ambiance and provide the backdrop to showcase Tribal culture.

See Attachment D2, Sheet A2.0 Cultural Building Plan.

See Attachment D3, Sheet A3.0 Cultural Building Elevations.

(vii) The building's relationship to the site, climate, topography and surrounding buildings.

Findings:

There are no buildings close to the Cultural Building. Windows are limited to the short east and west elevations. The building has 4' overhanging eaves to help protect the walls and windows from wind driven rain. The south facing entrance has a lobby to protect against driving wind. The east elevation is provided with a degree of protection by being only partially exposed to the east as the floor slab is set 3' lower than the sidewalk on Empire. The full height and width glazing on the west elevation capitalizes on the panoramic view to the west.

(b) Building Entries.

Findings:

The main entrance faces south and has a wind lobby. There are two fire exits on the north side of the building for emergency use only.

See Attachment D2, Sheet A2.0 Cultural Building Plan.

(i) The main entrances to buildings shall be prominent, interesting and pedestrian-accessible.

Findings: The main entrance projects forward from the building. The door will be trimmed in the form of a circle, symbolizing an open mouth and plenty in Tribal culture. Sidewalks lead to and from both the main entrance and the fire exits.

(ii) The orientation of building entries shall:

(A) Orient the primary entrance toward the street, pedestrian walkway, public plaza or courtyard rather than the parking lot;

Findings:

The Cultural Building is on the upper bluff, organized to complement the existing Hollering Place Wayside, and maximize views from the upper bluff. The primary entrance faces the Wayside and the public plaza to the south. A variance to allow for the main entrance to be on the south rather than facing the street is included within this document.

Pedestrian pathways and the placement of the Cultural Building will connect the Wayside, the parking areas and the remainder of the PUD for maximum circulation on the site. The long narrow building along the east-west axis responds to the 2008 Hollering Place Master Plan, which addresses the importance of maintaining the view corridor.

(B) Connect the building's main entrance to the sidewalk with a well-defined pedestrian walkway; and

See Attachment D1, Sheet A1.2 Site Plan.

(C) Primary entrances shall be designed as inviting architectural features so they are clearly identifiable and offer a sense of arrival.

Findings:

The primary entrance announces itself by projecting forward from the building with circular trim and glazing around the entrance.

(c) Building Facades.

(i) Building frontages shall include architectural elements such as, but not limited to bay windows, recessed entrances and windows, display windows, porches, balconies, or other architectural details or articulation, so as to provide visual interest in addition to creating community character and pedestrian scale. The overall design shall recognize that the simple relief provided by window cutouts or sills on an otherwise flat facade, in and of itself, does not meet the requirements of this subsection.

Findings:

The Cultural Building's siding is proposed to be embellished with stamped/burnt basket weave patterns on natural wood. East and west elevations have full height and width glass windows which allow the public to observe activity within the building. Adding additional projections, balconies, bay windows and cupolas are not in keeping with the style of a traditional Plank House.

(ii) The dominant feature of any building frontage that is visible from the public area shall be the habitable area with its accompanying windows and doors.

Findings:

East and west elevations will have large glass walls that allow the outside public views into the habitable area, and allow inside views to the outside. The building is clearly visible from Empire, Newmark Avenue and the existing wayside to the South.

(iii) Developments shall be designed to encourage informal surveillance of the public areas by maximizing sight lines between the buildings, public spaces and streets. This includes views both at ground level and from upper level balconies and windows.

Findings:

The Cultural Building will stand alone and allow views of outside public areas. The placement of the building makes it visible from the site and the surrounding neighborhood. Landscaping will be low and illuminated, as described within this document in sections discussing both landscaping and views.

(iv) The exterior walls of all building facades shall be of suitable durable building materials. All facades of any given building should be of consistent building materials. Side and rear building facades must have a level of detail and finish compatible with the front facade. If windowless walls are proposed, appropriate wall articulation is to be incorporated into the design to be compatible with the more prominent facades of the building.

Findings:

All facades will be sided with vertical wood siding detailed to comply with the Oregon Structural Specialty Code. Two facades will have storefront windows with each using the same framing and colors. Walls will have a striped basket weave pattern. The intent is to place an art form on the north elevation. Plantings will be placed along the north and south elevations. Additional findings regarding building materials and facades have been provided within this document. Building materials and facades will be evocative of Tribal culture.

(v) A preliminary review by the city is required if the following materials are contemplated:

(A) Unfinished concrete (painted or unpainted);

(B) Unfinished concrete block (painted or unpainted);

(C) Unarticulated board siding (e.g., T1-11 siding, plain plywood, sheet pressboard);

(D) Concrete block, split-face block, and cinder block.

Findings:

There will be no unfinished concrete block (painted or unpainted), unarticulated board siding, concrete block, split-face block or cinder block siding or finishes.

(vi) Appropriately scaled architectural detailing is encouraged.

Findings:

The documents included as Attachments depict compliance with various portions of the City's code and include appropriately scaled architectural detailing.

(vii) Awnings or canopies are encouraged. Backlit awnings are prohibited.

Findings:

Awnings and canopies are not appropriate to the style of the proposed Cultural Building, and they are not included.

(d) Darkly tinted windows and mirrored windows that block two-way visibility are prohibited as ground floor windows.

Findings:

There are no proposals for darkly tinted windows, or mirrored windows that block two-way visibility.

(e) Use muted and naturally occurring colors as predominant building colors.

Findings:

The gray, silver and gray-green tones that are proposed as predominant building colors are muted, and they are found in the surrounding distant landscape.

See Attachment F, Material Samples and Colors.

(f) Building rooflines shall be designed to create architectural interest and contribute to the overall identity of the area.

Findings:

Building rooflines for the Cultural building are designed to create architectural interest and contribute to the identity of Hollering Place.

See Attachment D3, Cultural Building Elevations.

(g) Lighting of a building facade shall be designed to complement the architectural design. Lighting shall not draw inordinate attention to the building.

Findings:

Lighting of the building façade by recessed eave soffit light fixtures which subtly wash the walls with light at night will provide a general illuminance around the perimeter of the Cultural Building.

See Attachment I, Lighting Plan, Illumination and Light Fixture Examples.

(h) Service Zones.

(i) Building and sites shall be organized to group the utilitarian functions away from view of the public area.

Findings:

There is one building at this time, which is the Cultural Building. Grouping of building and sites with service Zones is not applicable.

(ii) Delivery and loading operations, mechanical equipment (HVAC), trash compacting/collection, and other utility and service functions shall be incorporated into the overall design of the building(s) and the landscaping. Because of views from the wayside in HP-1, roof-mounted equipment, such as HVAC, etc., shall be prohibited unless incorporated with architectural screening.

(iii) The visual and acoustic impacts of these functions, along with all wall or ground-mounted mechanical, electrical and communications equipment, shall be out of view from adjacent properties and the public realm.

(iv) Screening materials and landscape screens shall be architecturally compatible with the principal materials of the building.

Findings:

Screening and mechanical functions are addressed in the findings to respond to Section 17.250.070 Property development requirements. The HVAC is roof-mounted and screened.

Electric meters are required to be in view. Backflow preventers will be screened by landscaping. The natural gas meter, if required, will be located as discretely as the utility will allow. Utility and service functions are incorporated into the overall design of the Cultural Building as described within previous findings.

Section 17.250.070 Property development requirements (3) provide requirements for screening. Findings for this section address mechanical equipment, trash and mechanical equipment, and underground utility lines. Materials will be complementary to the exterior of the building.

In addition more findings are found in response to Section 17.250.080, Site design guidelines and standards, (4) which provides expectations for landscaping in regards to irrigation, maintenance, shrub types, specifics for sizing appropriate in the scale of the adjacent Cultural Building, paved surfaces, foundation plantings, and ground cover to be up to 90% coverage within five years.

(3) Signs. The standards in this subsection are in addition to the standards in Chapter 17.333 CBDC, Signs. If the provisions conflict, the stricter shall apply. Signs on the building facade should be clear, informative and made of high-quality, durable materials for longevity. Oversized, glaring and excessive signage is prohibited. Signs should take into account the scale of the building and the viewer, particularly the pedestrian. General standards for signage are as follows:

Findings:

Section (3) Signs is the introduction of the section of the Hollering Place code language which provides regulations for signing. The applicants intend to comply with all regulations for signing prior to submitting their construction plans for building permits for the PUD for the entire development.

Chapter 17.347

CONDITIONAL USES

17.347.010 Purpose of a conditional use.

There are certain uses which may be generally similar and appropriate within a given zone, but which, due to the nature of their potential impacts on surrounding land uses and public facilities, require a case-by-case review and analysis. Uses subject to a conditional use review may also possess unique or special characteristics that necessitate certain requirements or “conditions” to review them to successfully be integrated into a particular zone. The intent of the conditional use process is to identify potential negative impacts of a proposal, if any, and determine whether conditions of approval should be imposed on the proposed use to mitigate potential negative impacts. Only if conditions of approval cannot be imposed to mitigate any identified impact should a conditional use be denied.

17.347.020 Pre-application review.

Applications for conditional use review or modification of a conditional use review is not subject to pre-application review unless requested by the applicant. Applications must be consistent with CBDC 17.130.020, Pre-application review.

Findings:

A pre-application review conference was held May 8, 2019 for a Planned Unit Development that would include the proposed Cultural Building as the first phase. Continuing discussions with city staff resulted in a determination that the Cultural Building could be permitted as a conditional use permit. It is the choice of the applicant to pursue the conditional use permit for the Cultural Building at this time to be incorporated as a focal point for Hollering Place along with Hollering Place Wayside that currently exists along Empire Boulevard / Cape Arago Highway.

17.347.040 Criteria for approval, minor modifications and revocation.

(1) The planning commission shall approve or approve with conditions an application for conditional use review if it finds the applicant has sustained the burden of proving that:

(a) The proposed use complies with the applicable requirements of the zone except as otherwise approved by variance or other means consistent with this title;

Findings:

The applicant has provided findings of compliance with *Chapter 17.250, HOLLERING PLACE DISTRICT (HP)* within this document. Where the proposal does not comply with the criteria provided in the Hollering Place District, the criteria and findings for any required variance is included within this section of the conditional use permit findings as follows:

Chapter 17.372 VARIANCES

17.372.010 Pre-application review.

An application for one or more variances subject to Type I or Type II review is not subject to pre-application review, unless filed concurrent with an application that is subject to pre-application review.

Findings:

Pre-application review for a planned unit development was done on May 18, 2019. At the time of the pre-application, a planned unit development was envisioned, with the first phase being the Cultural Building. In subsequent meetings with City planning staff, it was determined that a conditional use permit for the Cultural Building would be an option. The applicants are pursuing the conditional use permit application herein, and any required variance is being proposed when required. City staff are aware that there will be variances, as variances were discussed at the pre-application conference. The applicants are filing required variances concurrent with a CUP application that went through pre-application review.

17.372.020 Review process.

(2) Review of a technically complete application for all other variances greater than 10 percent are subject to a Type II process, CBDC 17.130.090.

Findings:

This application includes two variances, which are set forth within this section of the analysis and findings:

Variance #1: Request regarding square footage footprint limitation:

Variance to square footage requirements for a structure with a footprint of no more than 1,500 square feet; the structure is the cultural building, proposed for 4,300 square feet.

Section 17.250.020 (A) *A structure must occupy a footprint of not more than 1,500 square feet;*

17.372.040 Approval criteria.

The approval authority may impose appropriate conditions to ensure compliance with the criteria. The appropriate approval authority shall approve a variance request if all the following criteria are met and corresponding findings of fact prepared:

(1) The variance is the minimum variance necessary to make reasonable use of the property.

Findings:

The proposed Cultural Building is intended to provide a gateway to the Hollering Place site at the visible intersection of Empire and Newmark. The building is proposed with a long axis, east / west so that it appears narrow, and minimizes obstructing views from the Empire community and Empire Boulevard / Cape Arago Highway. In addition, it will create an anchor civic center building for the Empire district.

The size proposed for the Cultural Building is appropriate because an anchor building that attracts people along the highway on the upper bluff needs to be of a size to present the Tribal Culture inside the facility. The function of the Building is to promote Tribal culture with displays and events, provide a meeting place for both the Tribes and the community. The Building will provide three multipurpose spaces, administration office space and public restrooms. The 4,300 square foot building is compact in relation to the size of other cultural buildings within the community. For example, Coos Art Museum occupies a building that has a total space of 15,982 square feet. According to Executive Director Steven Brooks; Coos History Museum utilizes 20,200 square feet.

The proposed variance to allow the 4,300 square foot building is the minimum variance necessary to make reasonable use of the property and to comply with language within the Hollering Place District, Chapter 17.250. Section 17.250.010 Intent describes a connection to the existing business district and “an entry statement signaling the presence of the remainder of the project.” With the use that is proposed, a 1,500 square foot building would not be sufficient to share the Tribal culture or providing an entry statement to the remainder of the project.

(2) The variance will not result in violation(s) of any other code standard, and the variance will meet the purposes of the regulation being modified.

Findings:

The applicants are complying with the Hollering Place Master Plan and the Hollering Place zoning in the Development Code. The zoning is specific, but many of the visions presented in the master plan are open-ended. Here is an example of wording from the Hollering Place District, which is addressed in a previous section of this document:

Section 17.250.030 HP1, upper bluff area (2) Architectural Character
a) A main building is intended to be a landmark on the bluff near the intersection of Newmark Avenue and Empire Boulevard and serve as an attractor for the activities on the lower portion of the site without compromising views of the bay from Newmark Avenue and Empire Boulevard.

The Development Code itself sets the bar in the quote above because it states “a main building is intended to be a landmark on the bluff” . . . and goes on to discuss a building that will be an attractor. The variance complies with the purposes of the regulation being modified and with the purposes of the ordinance to be a landmark on the bluff and to serve as an attractor for all that will be organized on the lower portion of the site. As discussed previously, the narrow design of the Cultural Building is proposed so that views of the Bay from Newmark Avenue and Empire Boulevard will not be compromised.

(3) The need for the variance was not created by the applicant and/or owner requesting the variance.

Findings:

The master plan addresses the story to be incorporated, but the zoning only allows for flexibility to tell the story when applications for variances to the building size and lot coverage are incorporated. A 1,500 square foot building that is smaller than many single-family dwellings will not provide the space to tell the story. The intent is to develop the property so that it will attract visitors, provide for viewsheds and interpretation, and respect the history of the site, all of which are addressed within the HP Zone, and the master plan.

The lot coverage is compliant as presented in the findings for Section 17.250.020 in reference to the HP-1 upper bluff area. As indicated previously in the Findings, the application complies with the requirement for more than 75% of the area dedicated to preserving and enhancing views.

The applicant is complying with the requirement to create a landmark on the bluff near the intersection of Newmark Avenue and Empire Boulevard and serve as an attractor for the activities on the lower portion of the site, which is set forth in Section 17.250.030 HP1, upper bluff area and elsewhere in the code and the

Master Plan. This would not be possible within the size limitation that the zoning allows. The need for the variance is to provide a landmark attraction that will carry out the vision for the site. The need for the variance has not been created by the applicant/ owner.

(4) If more than one variance is requested, the cumulative effect of the variances results in a project that is consistent with the overall purpose of the zone.

Findings:

There is one variance which has to do with the square footage of the proposed Cultural Building; A second variance has to do with the south facing entrance to the Cultural Building. The two variances are not for related items, and there will be no cumulative effects.

Variance #2: Request regarding orientation of main entrance location

A variance to allow for the main entrance to be on the south rather than facing the street is proposed. Section 17.250.090 General design guidelines and standards – Architectural form and composition (2)(b)(iii):

(A) Orient the primary entrance toward the street, pedestrian walkway, public plaza or courtyard rather than the parking lot.

17.372.040 Approval criteria.

The approval authority may impose appropriate conditions to ensure compliance with the criteria. The appropriate approval authority shall approve a variance request if all the following criteria are met and corresponding findings of fact prepared:

(1) The variance is the minimum variance necessary to make reasonable use of the property.

Findings:

A pre-application review for a planned unit development was done on May 18, 2019. At the time of the pre-application, a planned unit development was envisioned, with the first phase being the Cultural Building. In subsequent meetings with City planning staff, it was determined that a conditional use permit for the Cultural Building would be an option. The applicants are pursuing the conditional use permit application herein, and any required variance is being proposed when required. City staff are aware that there will be variances, as variances were discussed at the pre-application conference. The applicants are filing required variances concurrent with a CUP application that went through pre-application review.

17.372.020 Review process.

(2) Review of a technically complete application for all other variances greater than 10 percent are subject to a Type II process, CBDC 17.130.090.

17.372.040 Approval criteria.

The approval authority may impose appropriate conditions to ensure compliance with the criteria. The appropriate approval authority shall approve a variance request if all the following criteria are met and corresponding findings of fact prepared:

(1) The variance is the minimum variance necessary to make reasonable use of the property.

Findings:

The Cultural Building is on the upper bluff, organized to complement the existing Hollering Place Wayside, and maximize views from the upper bluff. The primary entrance faces the Wayside and the public plaza to the south.

Pedestrian pathways and the placement of the Cultural Building to connect with the Wayside are important features. An entrance on the east side or northeast corner would be inefficient for interior circulation in a narrow building with a long east / west axis. These are important considerations for the building entrance in making reasonable use of the property.

(2) The variance will not result in violation(s) of any other code standard, and the variance will meet the purposes of the regulation being modified.

Findings:

The applicants are complying with the Hollering Place Master Plan and the Hollering Place zoning in the Development Code. The variance does not cause violations of any other code standard, and it will meet the purposes of the regulation that is being modified.

(3) The need for the variance was not created by the applicant and/or owner requesting the variance.

Findings:

The need for the variance was not created by the applicant/owner requesting the variance. The City's code is very specific in order to create a pleasing ambience with architectural expectations and specifics about building placement and views. But the City's code is a document presenting a vision without the benefit of a proposal to implement the vision. The applicant is proposing a use that complies with the vision and purposes of the code. In organizing this specific site to comply with the vision and purposes set forth, the south facing entrance is a modification that can best comply with all that is required.

(4) If more than one variance is requested, the cumulative effect of the variances results in a project that is consistent with the overall purpose of the zone.

Findings:

There are two variances presented in this document: One variance is to the square footage limitation of the proposed Cultural Building; the second variance allows for the south facing entrance to the Cultural Building. The two variances are not for related items, and there will not be no cumulative effects.

(b) The site size, dimensions, location, topography, and access characteristics of the site are suitable to accommodate the proposed use and necessary mitigation of potential adverse impacts considering size, shape, location, topography and natural features;

Findings:

The Hollering Place District takes the site size, dimensions, location, topography, and access characteristics of the site into consideration; the proposed use is designed to carry out the intent of the District and also to carry out the Hollering Place Master Plan of 2008, which is a visionary document that does not have the specificity of the Development Code.

(c) All required public facilities (i.e., water, sanitary waste, drainage and roads) have adequate capacity and design to serve the proposed use either as they exist, or as they may be modified by conditions of approval;

Findings:

Contact has been made with PP&L, Northwest Natural Gas, the Coos Bay North Bend Water Board, Charter Communications, Frontier, and the City of Coos Bay. Utilities have advised that there is sufficient capacity available to serve the site.

The attached reports and configurations provided by Stuntzner Engineering and Forestry address sanitary waste, and stormwater disposal.

The Traffic Impact Analysis by Sandow Engineering addresses the capacity and design of the roads.

See Attachment K, Utility Maps and Emails from Utilities Confirming Availability.

See Attachment P, Engineering Report and Drawings.

See Attachment H, Traffic Impact Analysis.

(d) Any impacts related to building mass, parking, access, traffic, noise, vibration, exhaust and emissions, light, glare, erosion, odor, dust, heat, fire hazards, visibility, and safety are no greater than other uses permitted in the zone, or can be mitigated by imposing reasonable conditions of approval which specifically address the potential impact and are intended to reduce the impact to levels consistent with other uses permitted in the zone.

Findings:

Building mass, parking, access, traffic, lighting, visibility and safety are all addressed within the requirements of the Hollering Place zone. Vibration, exhaust and emissions, odor, dust, heat and fire hazards are not specifically addressed within the zone. Because the proposed use is a Cultural Building that will invite people to experience culture and enhance the sense of place for residents and visitors, ambiance is one of the primary considerations. The use proposed is not an industrial use, and for that reason, exhaust and emissions will only be present from cars that utilize the parking lots. The Cultural Building which is intended to enhance the site will not emit odors, dust or heat; the building will include sprinklers to limit fire hazards.

(2) The planning commission may impose, in addition to regulations and standards expressly specified in this title, reasonable conditions of approval necessary to mitigate potential impacts. These conditions may include, but are not limited to, the following:

- (a) Increased setbacks, lot size or yard dimensions;*
- (b) Additional design features necessary to mitigate impacts related to building mass, parking, access, traffic, noise, vibration, exhaust and emissions, light, glare, erosion, odor, dust, heat, fire hazards, visibility, safety, and aesthetic considerations such as, but not limited to, the potential conditions listed below, such as noise, vibration, air pollution, glare, odor and dust;*
- (c) Restrictions on the location, number and design of vehicular access points to the property;*
- (d) Requirements of CBMC Title 12, Streets, Sidewalks and Public Places; CBMC Title 13, increases Public Utilities and Services; CBMC Title 15, Buildings and Construction; and CBMC Title 18, Engineering Design Standards;*
- (e) Increases in right-of-way dedication for street capacity warranted by increases in traffic generated or in turning movements that can be attributed to the project;*
- (f) Restrictions on the hours, days, place and manner of operations;*
- (g) Additional requirements for drainage and surfacing of maneuvering, off-street parking and loading areas;*
- (h) Limits on the location and intensity of outdoor lighting;*
- (i) Requiring increased buffering between uses, including berming, screening, landscaping and/or fencing;*
- (j) Arrangement of buildings and use areas on the site;*
- (k) Other conditions substantiated by state or federal regulations; and*
- (l) Mitigations for adverse impacts as further specified in Chapter 17.325 CBDC, Mitigation of Adverse Impacts.*

(3) Conditions may not be imposed that restrict the use to a specific person or group.

Findings:

The applicant understands the Conditional Use Review process, and the conditions that may be imposed by the Planning Commission. The Hollering Place District is detailed and specific in its requirements, and the applicant is complying with those requirements. The Hollering Place site vision is also addressed within the Hollering Place Master Plan

of 2008. The applicant is proposing the Cultural Building as a first step in carrying out the vision. In this case, many requirements are specifically included within the zone. Findings to address all criteria are included within this document.

17.347.050 Ownership, transfer and cessation of use.

(1) An approved conditional use review is specific to the subject property and cannot be transferred to another property.

(2) The planning commission may limit the conditional use to a specific business or owner, if necessary, to help assure compliance with all conditions of the original conditional use approval; otherwise, a conditional use approval is for the use, not for the specific business, business name, or ownership which may change. However, all conditions of approval continue to apply.

Findings:

The Hollering Place site is being developed by the Confederated Tribes of Coos, Lower Umpqua and Siuslaw Indians through a cooperative Development Agreement with the City of Coos Bay. This section does not apply.

Chapter 17.365

SITE PLAN REVIEW

17.365.010 Purpose.

The purpose of site plan approval is to ensure compatibility between new developments, existing uses, and future developments in a manner consistent with the goals and objectives of the comprehensive plan. Site plan approval is required to promote developments that are harmonious with their surroundings, to maintain a high quality of life for area residents, to ensure that new developments are planned and designed to protect privacy, to determine appropriate lighting and noise mitigation measures, and to ensure adequate and safe access.

Findings:

Site plan review incorporates many of the requirements of the Hollering Place District, in that the District has specific requirements for architecture, landscaping, placement of parking and harmonious development that continues to provide views of the water. No residential use is proposed at this time. Findings that address ambiance, and harmony within the site and the general location in the Empire Community have been addressed. Lighting and safe access are addressed within the Hollering Place District findings.

17.365.020 Applicability.

The provisions of this chapter shall apply to all changes of use, new construction and expansion or alteration of any use unless expressly exempted by this title. No use shall be established, no structure erected or enlarged, and no other improvement or construction undertaken except as shown upon an approved plan which is in conformance with the requirements set out in this title. Applications for site plan review are subject to CBDC, 17.130.020, Pre-application review.

Findings:

The proposed Cultural Building is new construction, and as such, Site Plan Review is required. There have been a number of meetings with City staff to discuss this application. The official Pre-Application Conference was held May 8, 2019, and the notes from that meeting are provided in an Attachment. At the time of the Pre-Application, the applicant was proposing the Cultural Building as Phase I of a Planned Unit Development. Following that meeting, subsequent meetings with City Planning staff, the applicant's planner and architect, and Tribal staff led to consensus that a conditional use permit for the Cultural Building would be a better fit at this time. The applicants have already included the findings for a conditional use permit along with findings of compliance with Hollering Place District. This portion of the document provides findings of compliance with Chapter 17.365 Site Plan Review.

See Attachment Q, Preapplication notes of May 8, 2019.

17.365.030 Exemptions.

The following are exempt from the site plan review:

- (1) Residential proposals creating less than 10 new units in any zone;*
- (2) Modifications to the interior of an existing structure that does not change the use or the intensity of a use;*
- (3) Subdivisions or partitions;*
- (4) The installation or replacement of underground utilities; and*
- (5) Other development the director determines to be exempt because it does not result in an appreciable increase in land use activity and intensity and does not create an additional significant adverse impact.*

Findings: Exemption (4) *The installation or replacement of underground utilities* applies in that the intent is to bury utility lines to the extent feasible and permitted by the utility company. Other exemptions listed do not apply.

17.365.040 Site plan review types and procedures.

(1) Site plan reviews are classified and processed as follows:

(a) Permit Reviews. These site plan reviews are typically relatively minor in nature, consistent with the zoning of surrounding land uses, and do not have a substantial impact on the natural and built environment. The following are classified as Type II site plan reviews:

- (i) Changes in use of an existing structure or site;*
- (ii) New construction or expansions of existing construction which do not exceed:*
 - (A) Four thousand square feet of additional floor area;*
 - (B) Twenty new parking spaces; and*
 - (C) Four new multifamily residential structures.*

(b) Development Reviews. Any site plan review not listed as a Type II review in subsection (1)(a) of this section is classified as Type III site plan review.

Findings:

The Cultural Building is proposed as new construction of a 4,300 square foot structure, which is addressed in Section 17.365.040 (1) (a) (ii) (A). For this reason, a Type III site plan review is required.

(2) If a site plan review is part of an overall application that is subject to a higher review process, e.g., conditional use, the city shall review all applications at the higher level of review.

Findings:

The proposal is subject to a conditional use permit. This application includes the required findings for the HP-zone, a variance, and site plan review. The application is submitted as a Concurrent Application subject to Type III review.

17.365.060 Criteria for site plan approval.

(1) It is the responsibility of the director or designee to review each plan for compliance with the applicable provisions of this chapter and any other applicable regulations.

(2) The city shall not approve an application for site plan review unless the director finds that the proposed plan meets all applicable provisions of this subsection. Failure to meet one or more of the requirements of this subsection and other applicable CBDC regulations is grounds for denial. The applicant shall demonstrate compliance with all of the following criteria:

(a) The proposed use is permitted within the district in which it is located;

Findings:

The proposed Cultural Building is permitted within the HP zoning district; Findings of compliance for the HP zone are included within this document.

(b) The proposal meets the lot, yard, building, height and other dimensional requirements of the district within which it is located;

Findings:

The findings within this document establish compliance with the criteria of the HP zoning district. Where the size does not comply with the criteria set forth within the HP zone for the upper bluff area, findings of compliance with the criteria for approving a variance are included.

(c) The proposal meets the screening, buffering and landscape strip requirements, as set forth in Chapter 17.335 CBDC, Supplementary Development Standards;

Findings:

Section 17.110.090 More restrictive provision governs, states the following:

Where the conditions imposed by any provision of this title upon the use of land or building or upon the size, location, coverage or height of buildings are either more restrictive or less restrictive than comparable conditions imposed by any other provisions of this title or of any ordinance, resolution or regulation, the provisions which are more restrictive shall govern.

Findings:

Section 17.365.060, Criteria for site plan approval includes applicable Chapter 17.335 Supplementary Development Standards. The criteria and findings are found within the next section of this document under the section addressing Chapter 17.335 Supplementary Development Standards.

While the HP zone appears to more restrictive in general, there are additional requirements within the Supplementary Development Standards. The findings For those more restrictive requirements of the Supplementary Development Standards, findings are included.

(d) Minimum parking and loading space requirements are met, as required by Chapter 17.330 CBDC, Off-Street Parking and Loading Requirements;

Findings:

Section 17.250.070 Property development requirements provides the following language, exempting the HP zoning district from Chapter 17.330 parking requirements:

Except for residential uses, off-street parking requirements as set forth in Chapter 17.330 CBDC do not apply for the HP zoning district.

(e) Improvement requirements are provided in accordance with the applicable sections of the Coos Bay development code;

Findings:

The findings within this document address improvement requirements from the Coos Bay Development Code as applicable.

(f) All conditions of any applicable previous approvals, e.g., conditional use, have been met;

Findings:

A previous conditional use permit and variance for the Hollering Place development was approved. The development did not go forward at that time, and the conditional use permit that was approved with conditions has expired.

While the Wayside development was organized by the City of Coos Bay and others, City staff checked to determine if there were any previous applicable approvals or conditions on those approvals. None were provided in response to the request by Planner Crystal Shoji for information pertaining to the Wayside development

(g) Development subject to site plan review has provided underground public and private utility lines, including but not limited to those for electricity and communication;

Findings:

Underground public and private utility lines are proposed, and are exempt from site plan review.

See Attachment K, Utility Maps and Emails from Utilities Confirming Availability.

(h) Public water, sewer and stormwater lines have been installed in conformance with the standards of the city code. Public water, sewer and stormwater lines within or along the frontage of a development have been extended to the extreme property lines of that development unless it can be demonstrated to the public works department that such extensions are impractical or infeasible or inappropriate; and

Findings:

The applicants will conform to the standards of the city code.

(i) Proposed phasing plans do not exceed six years and all required public infrastructure is installed in the first phase of the development.

Findings:

No phasing is proposed within this application.

Chapter 17.335

SUPPLEMENTARY DEVELOPMENT STANDARDS

17.335.010 Generally.

The standards in this chapter apply to development generally within the city of Coos Bay. They can be used in any review process where applicable to evaluate or to set conditions of approval of an application.

17.335.020 Height of fences and hedges.

(1) Fences, walls and hedges not greater than eight feet in height shall be permitted on or within all property lines which are not within any vision clearance area. For any fence greater than eight feet in height a setback from the property line of one foot shall be provided for each additional foot or fraction of a foot.

(2) Fences or walls located in the following areas shall only be allowed subject to approval of a Type III site plan review (Chapter 17.365 CBDC):

(c) The bayside of South Empire Boulevard south of Newmark Avenue.

Findings:

No fences or hedges higher than 8 feet are proposed.

17.335.030 Solid waste.

If refuse containers are used by more than one unit for temporary storage of solid wastes, the container(s) shall be screened from view from off site by a sight-obscuring fence and/or evergreen landscaping and the area kept clean of all litter.

Findings:

Litter receptacles will be provided on site and regularly emptied. Trash from the building will be stored in the building until trash collection day.

17.335.040 Lighting.

(1) Street lighting shall be a required component of all residential, commercial and industrial developments within the city of Coos Bay. Lighting plans shall be a required component of complete preliminary subdivision, partition and site plan applications. All lighting plans shall be approved by the director.

(2) Lighting, including permitted illuminated signs, shall be designed and arranged so as to not:

(a) Reflect or cast glare into any residential zone;

(b) Rotate, glitter, or flash; or

(c) Conflict with the readability of traffic signs and control signals.

(3) Lighting on any site shall not cause more than one foot-candle measured at any property line.

Findings:

No street lighting is currently provided at the existing Wayside. Bollard lighting will be provided in the landscaping at both the existing Wayside site and the Cultural Building site. Soffit lighting will be provided in the eaves of the building. The lights will provide a general illuminance for security. There will be no reflection or glare, no rotation, glittering or flashing. There will be no conflict with traffic signs or control signals.

17.335.050 Noise.

All development shall comply with the noise standards established in the city.

Findings:

The applicant will comply with noise standards established by the City of Coos Bay.

17.335.060 Landscaping.

The following standards apply to landscaping and screening on private property required pursuant to this title. The city's public works department shall review and authorize landscaping and screening within public rights-of-way.

(1) At a minimum, 15 percent of each new commercial or industrial zoned lot or development must be landscaped to the standards within this chapter.

Findings:

Landscape coverage is proposed at more than 50% of the site area.

(2) Applicants are encouraged to provide flexible landscaping design that takes advantage of natural features and addresses the use and function of the proposed development. Landscaping choices should consider the aesthetic qualities of the existing site and provide attractive variety in tree and shrub species, texture, color, height and density.

Findings:

The existing bioswale at the Wayside will be enhanced. A viewing area will be added. Invasive plants will be removed. All new planting will be native species with an emphasis on plant selection that is relevant to Tribal culture.

See Attachments D1 and L.

(3) Existing vegetation may fulfill landscaping and screening requirements of this chapter if the existing landscaping provides at least an equivalent level of screening as the standard required for the development in question.

Findings:

Landscaping will be modified as described within other responses to ordinance criteria. Screening will be provided as within other sections of the ordinance, and the applicant's findings. Invasive plants will be removed and replaced.

(4) As a condition of approval for a conditional use or PUD, the city may require an applicant to provide landscaping and screening that differs from the standards in this section where necessary to comply with the other applicable approval standards for the use or development.

(5) Landscaped areas required for stormwater management purposes may be used to satisfy the landscaping area requirements of this chapter, even though those areas may be inundated by surface water. Required stormwater management facilities are not classified as areas inundated by water.

Findings:

Bioswales with appropriate planting have been included in the landscaped areas.

(6) Required landscaping and screening shall be located on the perimeter of a lot or parcel. Required landscaping and screening shall not be located on a public right-of-way or private street easement, unless authorized by the city's public works department.

Findings:

Landscaping is within property lines other than on the west side of Empire where the new landscaping will butt up to the sidewalk in order to be consistent with the rest of the development. The applicant will comply with any requirements of the City if special authorization is required.

(7) Parking and loading areas shall be landscaped as follows:

- (a) A minimum five-foot-wide landscaped strip shall be provided where vehicle parking or loading adjoins a public road right-of-way.*
- (b) Parking areas that contain at least seven spaces are required to provide landscaping islands throughout the development. A landscape island shall contain at least 25 square feet, shall be at least four feet wide, and shall prevent vehicles from damaging trees by using a wheel stop or curb.*

Findings:

A landscaped strip greater than 5 feet wide is provided where parking adjoins a public right-of-way. The existing parking at the Wayside does not comply with the landscape island requirement. The proposal in this application is to eliminate one space (nine proposed). A landscape buffer is proposed on the west side of this parking. Five parking spaces are proposed on the south side of the building surrounded on three sides by landscaping and sidewalks.

See Attachment D1, Sheet A1.2, Site Plan.

See Attachment L, Landscape Plans.

(8) The applicant shall install required landscaping and screening consistent with the approved site plan or development, or an approved modification thereto, before the city issues an occupancy permit or final inspection for the development in question; provided, the city may defer installation of plant materials for up to six months after the city issues an occupancy permit or final inspection for the development in question if doing so increases the likely survival of plants.

(9) All required ground cover plants and shrubs must be of sufficient size and number to meet the required standards within three years of planting. Mulch (as a ground cover) must be confined to areas underneath plants and is not a substitute for living ground cover plants, lawn or approved flowers.

Findings:

The applicants will purchase plants that will be of sufficient size and number to meet the required standards within three years of planting. Mulch will be confined to areas underneath plants where living ground cover plants, lawn or approved flowers are not suitable.

(10) Shrubs shall be supplied in a minimum of two-gallon containers or equivalent burlap balls, with a minimum spread of three inches. Reduction in the minimum size may be permitted if certified by a registered landscape architect that the reduction shall not diminish the intended effect or the likelihood the plants will survive.

Findings:

The applicants will utilize shrubs in a minimum of two-gallon containers or equivalent burlap balls, with a minimum spread of three inches. The size will only be reduced if a certified registered landscape architect provides reasoning that the reduction will not diminish the intended effect or likelihood that the plants will survive.

See Attachment L, Landscape Plans.
See Attachment G, Planting List.

- (11) *Trees shall be measured from the ground level at final planting to the top of the tree.*
- (a) *Trees required for parking and loading areas shall be a minimum caliper of two inches and a minimum height of 10 feet at the time of planting.*
 - (b) *Required deciduous trees (other than street trees) shall be fully branched, have a minimum caliper of one and one-half inches and a minimum height of eight feet at the time of planting.*
 - (c) *Required evergreen trees (other than street trees) shall be fully branched and a minimum of six feet high at the time of planting.*
 - (d) *The review authority may reduce the minimum size of trees (other than street trees) if the applicant submits a written statement by a landscape architect registered in Oregon or expert in the growing of the tree(s) in question certifies that the reduction in size at planting will not decrease the likelihood the trees will survive.*

Findings:

The applicants will comply with the requirements set forth within #s (11), (a), (b), (c) and (d) above. Tall trees and shrubs will be limited to maintain access to views. Where reduction in the minimum size of trees is necessary, the applicants will submit the required written statement by a landscape architect registered in the State of Oregon or expert in the growing of and trees in question certifies that the reduction in size at planting will not decrease the likelihood of tree survival

(12) *Landscape materials should be selected and sited to produce a hardy and drought-resistant landscape area. Selection should include consideration of soil type and depth, the amount of maintenance required, spacing, exposure to sun and wind, the slope and contours of the site, compatibility with existing native vegetation preserved on the site, water conservation where needed, and the impact of landscaping on visibility of the site for purposes of public safety and surveillance. Landscaping materials shall be selected in accordance with a list of plant materials adopted by reference as the Sunset Western Garden Book.*

Findings:

All plants will be native and/or significant to Tribal culture.

- (13) *The applicant shall demonstrate and comply with the following:*
- (a) *Plant materials shall be installed to current nursery industry standards.*
 - (b) *Plant materials shall be properly supported to ensure survival. Support devices such as guy wires or stakes shall not interfere with vehicular or pedestrian movement.*
 - (c) *Existing trees and plant materials to be retained shall be protected during construction, such as by use of chain-link or other sturdy fence placed at the dripline of trees to be retained. Grading, topsoil storage, construction material storage,*

vehicles and equipment shall not be allowed within the dripline of trees to be retained.

Findings:

The Applicants will comply with the requirements for plant materials, support for survival, and protection during construction as provided within this section.

(14) Maintenance of landscaped areas is the ongoing responsibility of the property owner. Required landscaping must be continuously maintained in a healthy manner. Plants that die must be replaced with in-kind materials unless otherwise authorized by the review authority. Vegetation shall be controlled by pruning, trimming or otherwise so that it will not interfere with the maintenance or repair of any public utility, restrict pedestrian or vehicular access, or obstruct sight distance at intersections.

Findings:

Applicant will comply.

(15) Irrigation. The intent of this standard is to ensure that plants will survive the critical establishment period when they are most vulnerable due to lack of watering. All required landscaped areas must comply with one of the following:

(a) A permanent built-in irrigation system with an automatic controller will serve the landscape area in question, and the system will be installed and operational before the city grants an occupancy permit or final inspection for the development in question; or

Findings:

A permanent built-in irrigation system with an automatic controller to serve the landscape area will be installed and operational prior to the time that the city grants an occupancy permit and/or final inspection for the Hollering Place Cultural Building.

See Attachment M, Irrigation Proposal.

(b) A temporary irrigation system will be acceptable, provided the applicant must submit a statement from a landscape architect registered in Oregon or expert in the growing of the vegetation in question which certifies that the proposed temporary irrigation system will provide sufficient water to ensure that the plant materials to be planted will survive installation and, once established, will survive without watering other than natural rainfall; or

(c) A permanent or temporary irrigation system will not serve the landscape area in question; provided the applicant submits the following:

(i) A statement from a landscape architect registered in Oregon or expert in the growing of the vegetation in question certifying that the materials to be planted will survive without watering other than natural rainfall; and

(ii) A plan for monitoring the survival of required vegetation on the approved site plan for at least one year and for detection and replacement of required vegetation that does not survive with like-kind material or other material approved by the city.

Findings:

The applicants are not seeking a temporary irrigation system; therefore, no statement from a landscape architect or other expert regarding growing of vegetation, and no plan for monitoring of vegetation will be required.

Summary

The applicants and their professionals have provided findings to comply with various overlapping code requirements including, but not limited to the following:

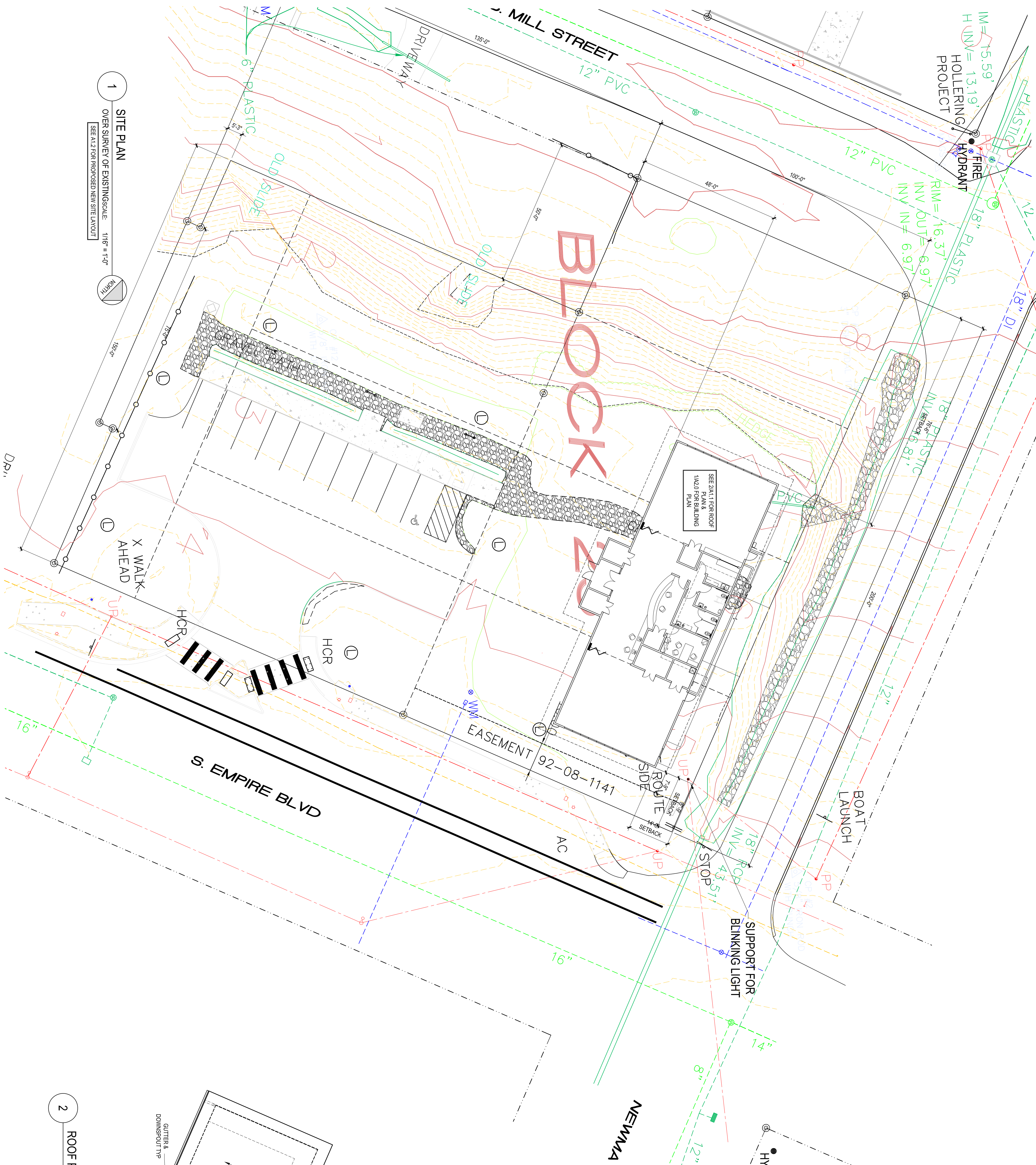
Coos Bay Municipal Code, City of Coos Bay Development Code:

- Chapter 17.150 Definitions
- Chapter 17.250 Hollering Place District (HP)
- Chapter 17.347 Conditional Uses
- Chapter 17.372 Variances
- Chapter 17.365 Site Plan Review
- Chapter 17.335 Supplementary Development Standards

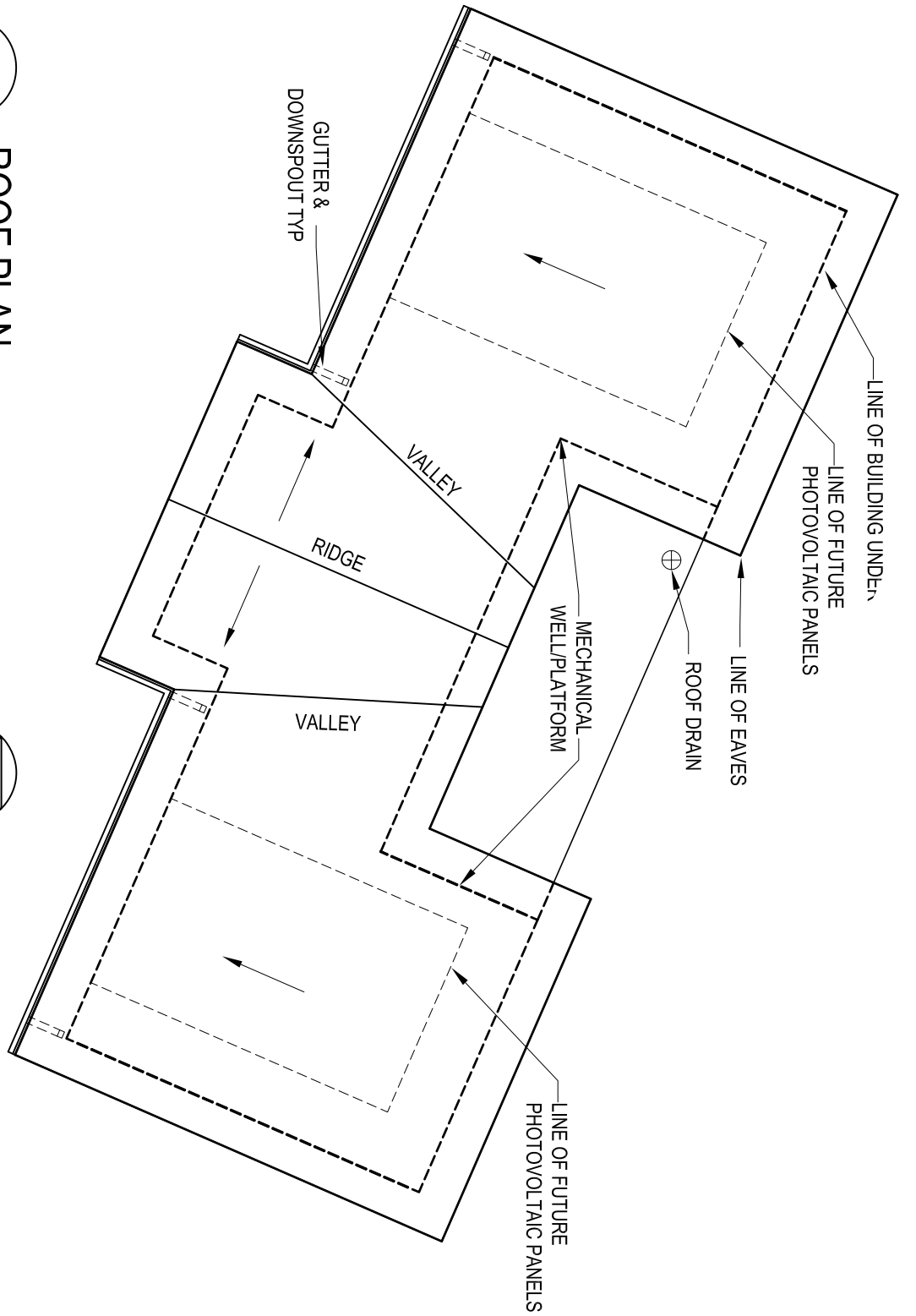
Coos Bay Municipal Code, Engineering and Design Standards addressing the following: stormwater, geotechnical aspects, wastewater, lights, sidewalks, public right-of-way, public utilities and service and more.

We look forward to working with the City to provide any items that may be found missing when the City provides their completeness check.

The Hollering Place Development is an exciting opportunity for the City and the Community. We look forward to the approval of this Conditional Use Permit, and future progress with the development of the Planned Unit Development. the



1 SITE PLAN
OVER SURVEY OF EXISTING SCALE: 1/16" = 1'-0"
SEE A1.2 FOR PROPOSED NEW SITE LAYOUT

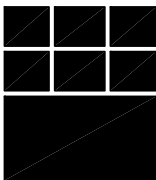
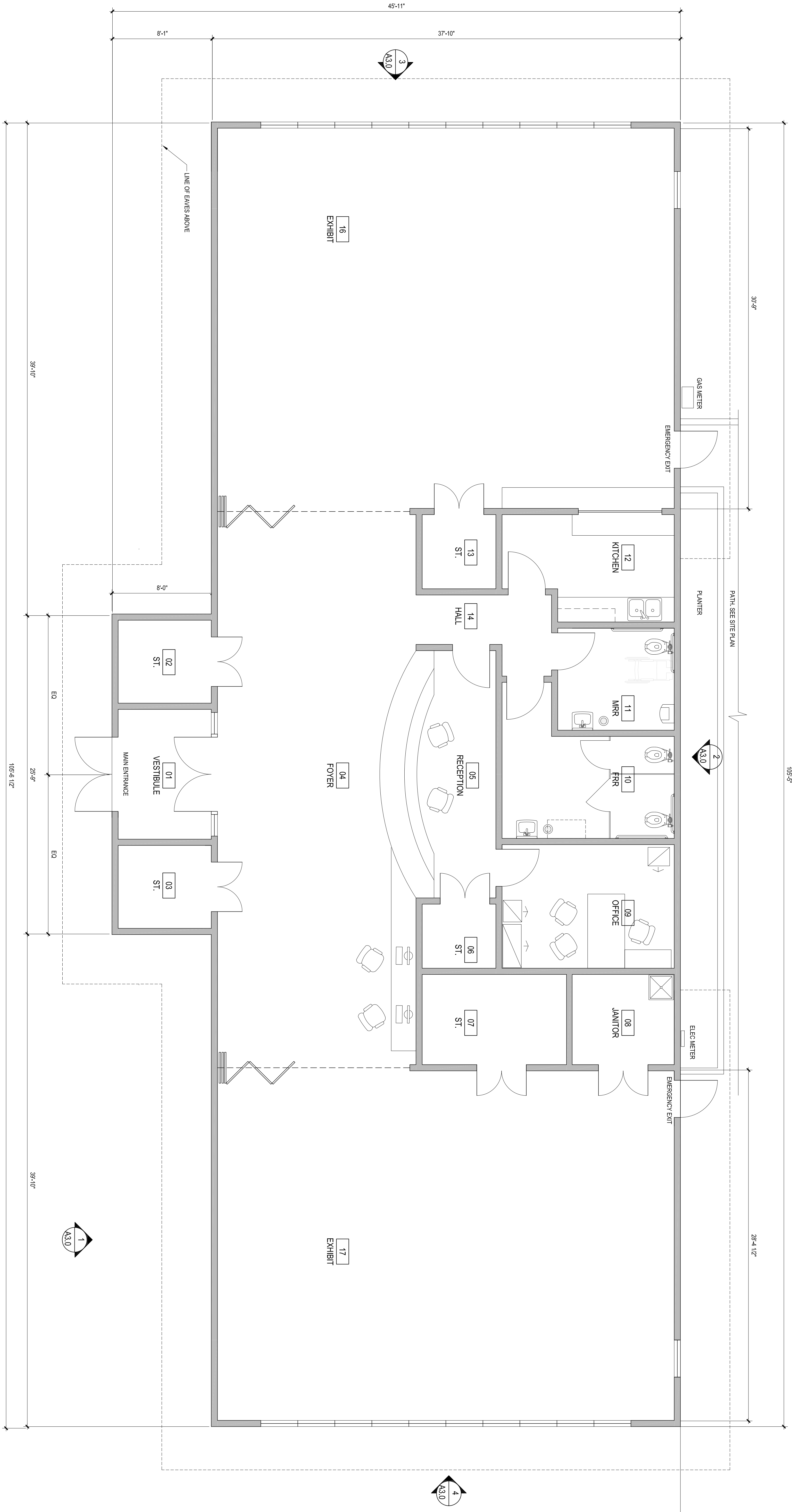


2 ROOF PLAN
SCALE: 1/16" = 1'-0"

SITE AREA- CULTURAL BUILDING= 20,000SF
-WAYSIDE = 19875 SF
TOTAL SITE AREA = 39875 SF
BUILDING AREA = 4300SF

PERCENTAGE COVERAGE OF BUILDING SITE = 21.5%
PERCENTAGE COVERAGE OF BUILDING SITE + WAYSIDE SITE (TOTAL SITE AREA) = 11%
IMPERVIOUS SURFACES AREA = 19,937 SF
PERCENTAGE OF TOTAL SITE AREA = 19937/39875 = 50%
LANDSCAPING AREA = 19,938 SF
PERCENTAGE OF TOTAL SITE AREA. = 19938/39875 =50%
TOTAL NUMBER OF PARKING SPACES = 14
STANDARD (10'x20') = 8
ADA = 6

ATTACHMENT D1 REVISED

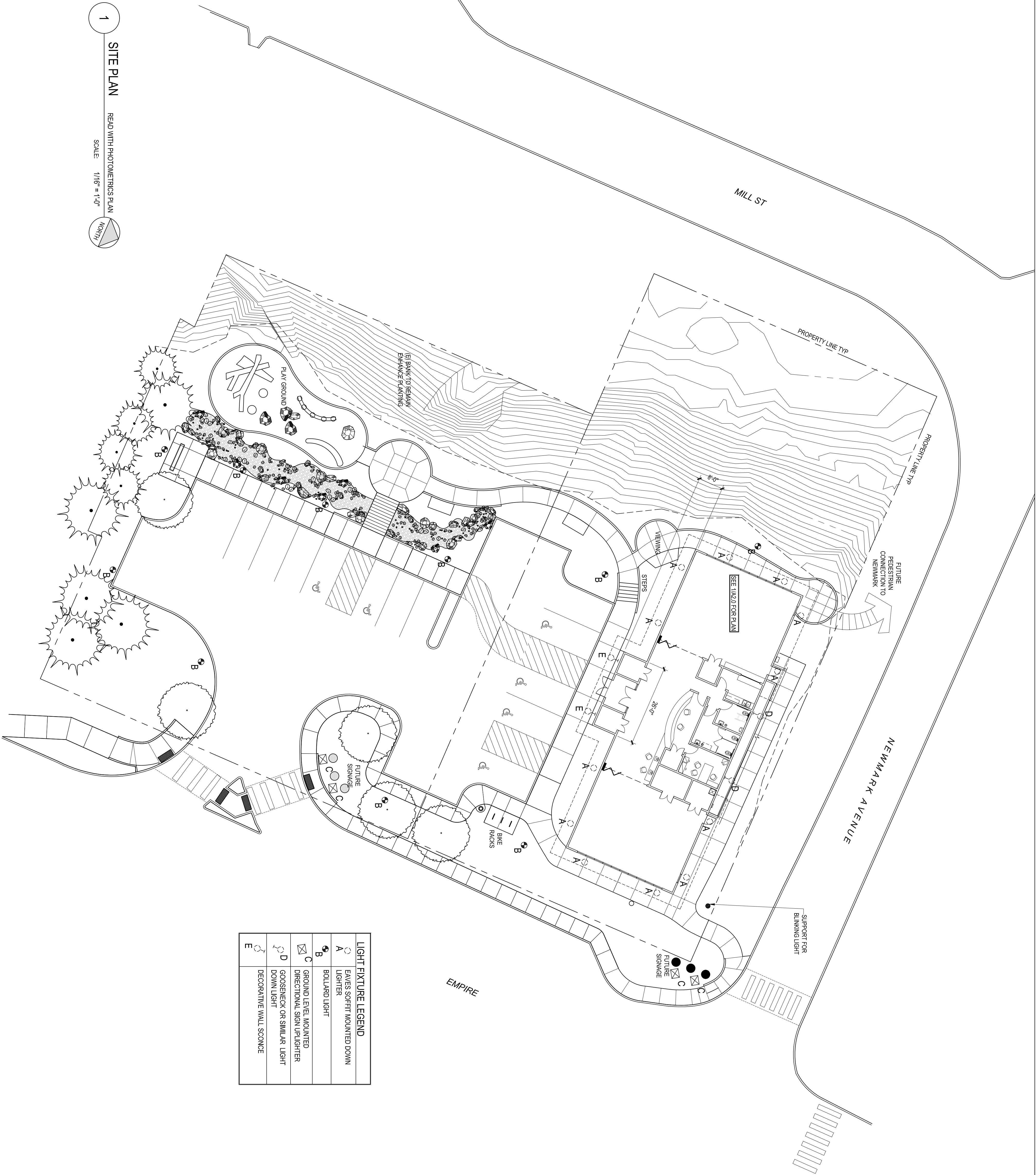




**PROJECT
SITE
SEE A1.1
& A1.2**

[illegible]

CULTURAL BUILDING
CONDITIONAL USE PERMIT
CONFEDERATED TRIBES OF THE
COOS LOWER UMPQUA & SIUSLAW INDIANS
112 S EMPIRE
COOS BAY, OREGON

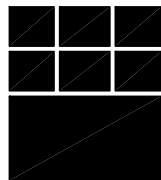


ATTACHMENT I REVISED

REVISIONS		
No:	Revision:	Date:

NOV 2019
PROJECT NO: 17012.04

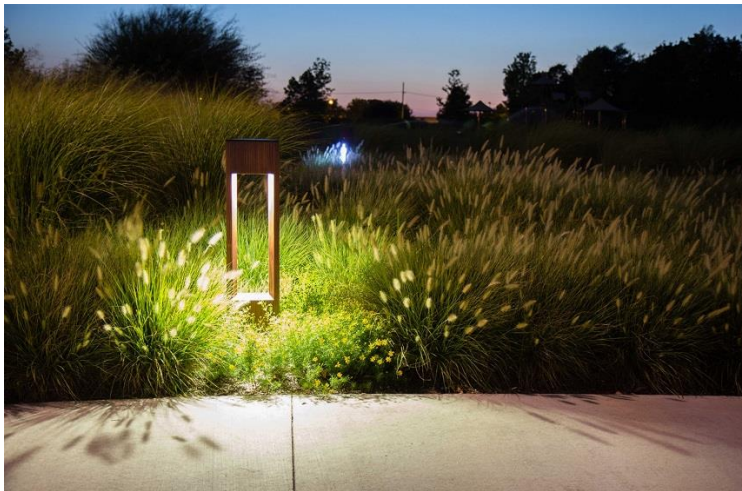
CULTURAL BUILDING
CONDITIONAL USE PERMIT
CONFEDERATED TRIBES OF THE
COOS LOWER UMPQUA & SIUSLAW INDIANS
112 S EMPIRE
COOS BAY, OREGON



CROW/CLAY & ASSOCIATES INC.
ARCHITECTURE AND PLANNING
LAND USE AND INTERIORS




125 WEST CENTRAL AVENUE
SUITE 400
COOS BAY, OREGON 97420
TEL: (541) 269-9388
www.crowclay.com

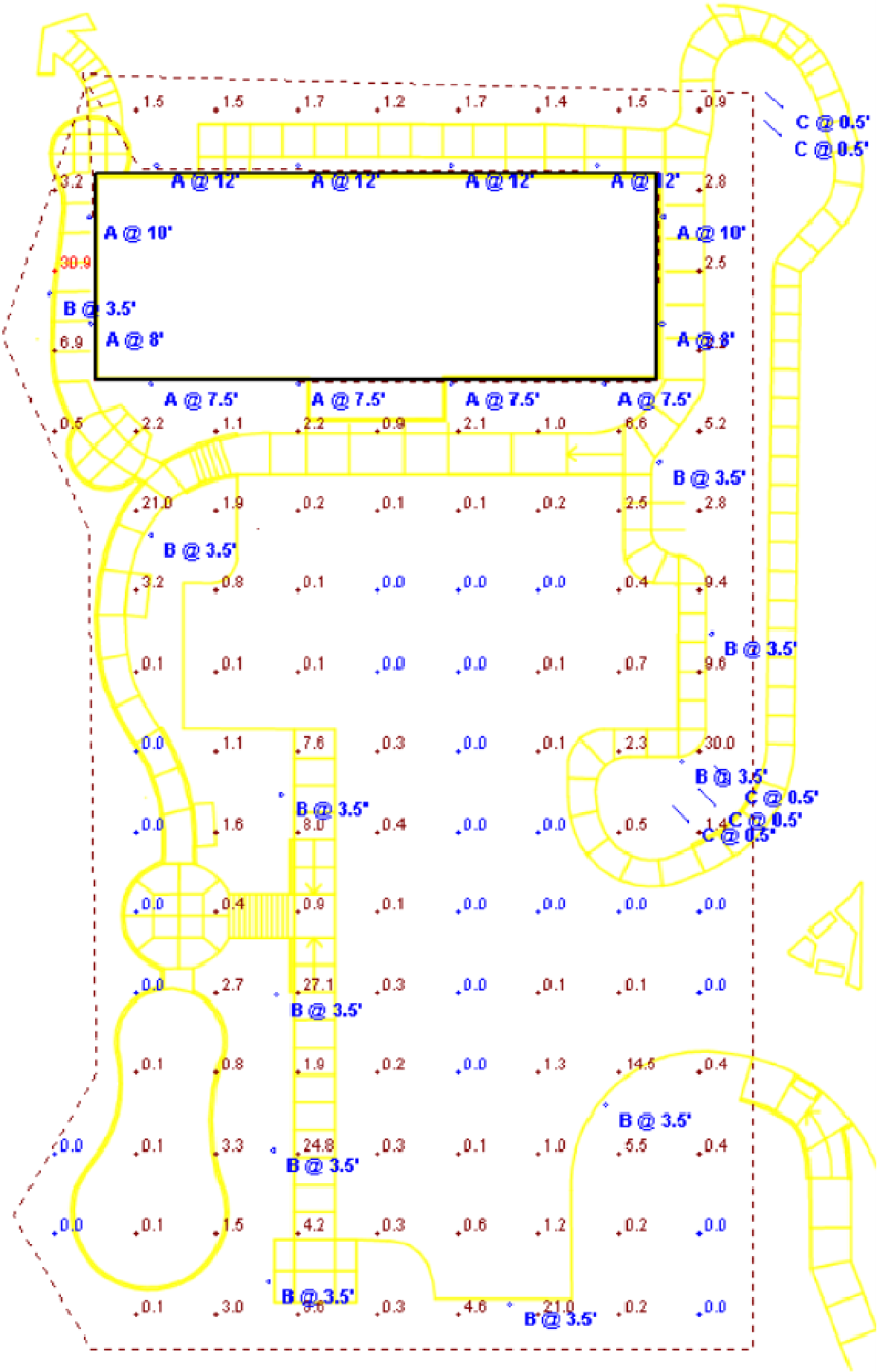
EXAMPLES OF LIGHT FIXTURES



YMLED-6101



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	12	RAB LIGHTING INC.	CLED26Y or PLED26Y (w/ center reflector & clear flat glass lens - ceiling or pendant mount)	CAST 2-PIECE BROWN PAINTED FINNED METAL HOUSING, 4 CAST METAL HEAT SINKS/CIRCUIT BOARD MOUNTING BRACKETS, 4 CIRCUIT BOARDS EACH WITH 1 LED AND MOLDED PLASTIC CIRCUIT BOARD PERIMETER OVERLAY WITH SPECULAR FINISH, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.	FOUR WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDs), AIMED AT THE HORIZON. INPUT VOLTAGE TO THE LED DRIVERS. Gymnasium, Industrial, Manufacturing, Office, Recreation, Utility, Ambient, Direct, Low Bay, Clean Room, Cold Storage, Damp Location	4	rab00940.ies	571	1	28.6
	B	11	RAB LIGHTING INC.	ALED5T52/D10,ALED5T52	CAST BROWN PAINTED METAL POST TOP FITTER WITH 3 FABRICATED BROWN PAINTED METAL VERTICAL POSTS, CAST 2-PIECE BROWN PAINTED FINNED METAL HOUSING, 4 CAST METAL HEAT SINKS/CIRCUIT BOARD MOUNTING BRACKETS, 4 CIRCUIT BOARDS EACH WITH 1 LED AND MOLDED PLASTIC CIRCUIT BOARD PERIMETER OVERLAY WITH SPECULAR FINISH, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST BROWN PAINTED METAL FRAME.	FOUR WHITE LIGHT EMITTING DIODES (LEDs), AIMED 5-DEGREES BELOW THE HORIZON. ALED5T52Y/D 10. ACTUAL PERFORMANCE MAY VARY. Area, Parking, Parks, Pathway, Pedestrian, Pool, Sidewalk, Site Sports, Street, Utility, Damp Location, Wet Location	6	rab02354mod50.ies	958	1	54.8
	C	5	Lithonia Lighting	DSXF1 LED P1 30K WFR	DSXF1 LED P1 30K WFR		1	DSXF1_LED_P1_30K_WFR.ies	Absolute	1	21



SITE PHOTOMETRICS



CULTURAL BUILDING

Designer

Date

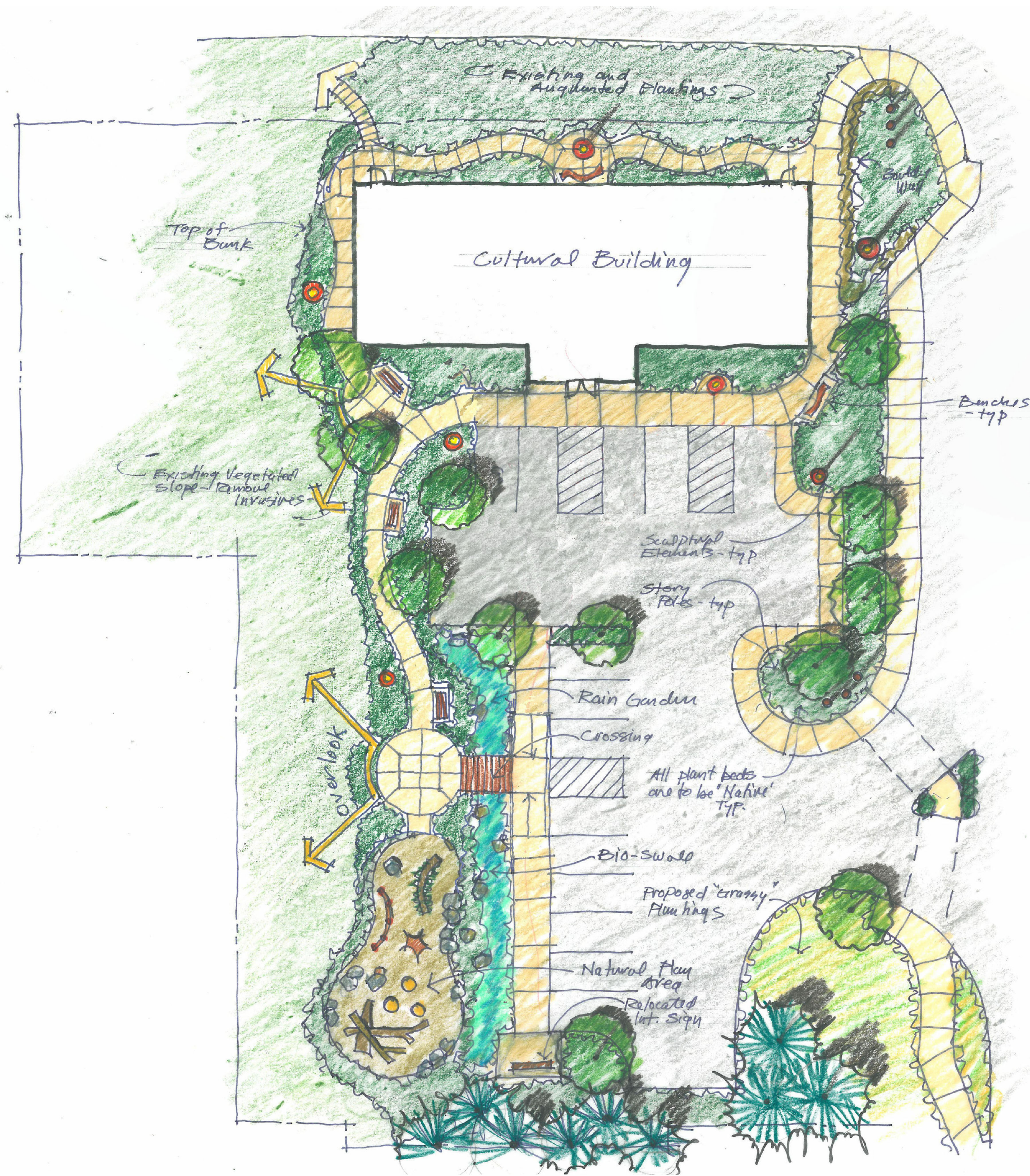
11/1/2019

Scale

Not to Scale

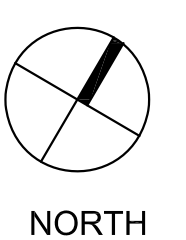
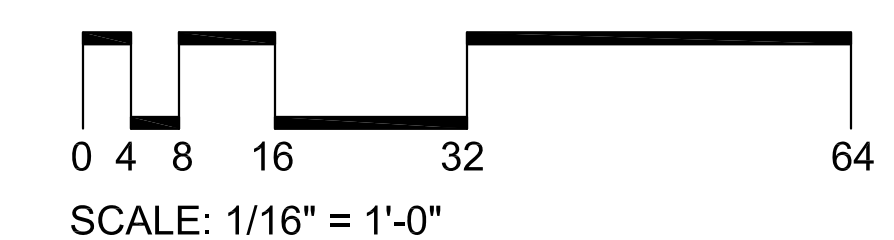
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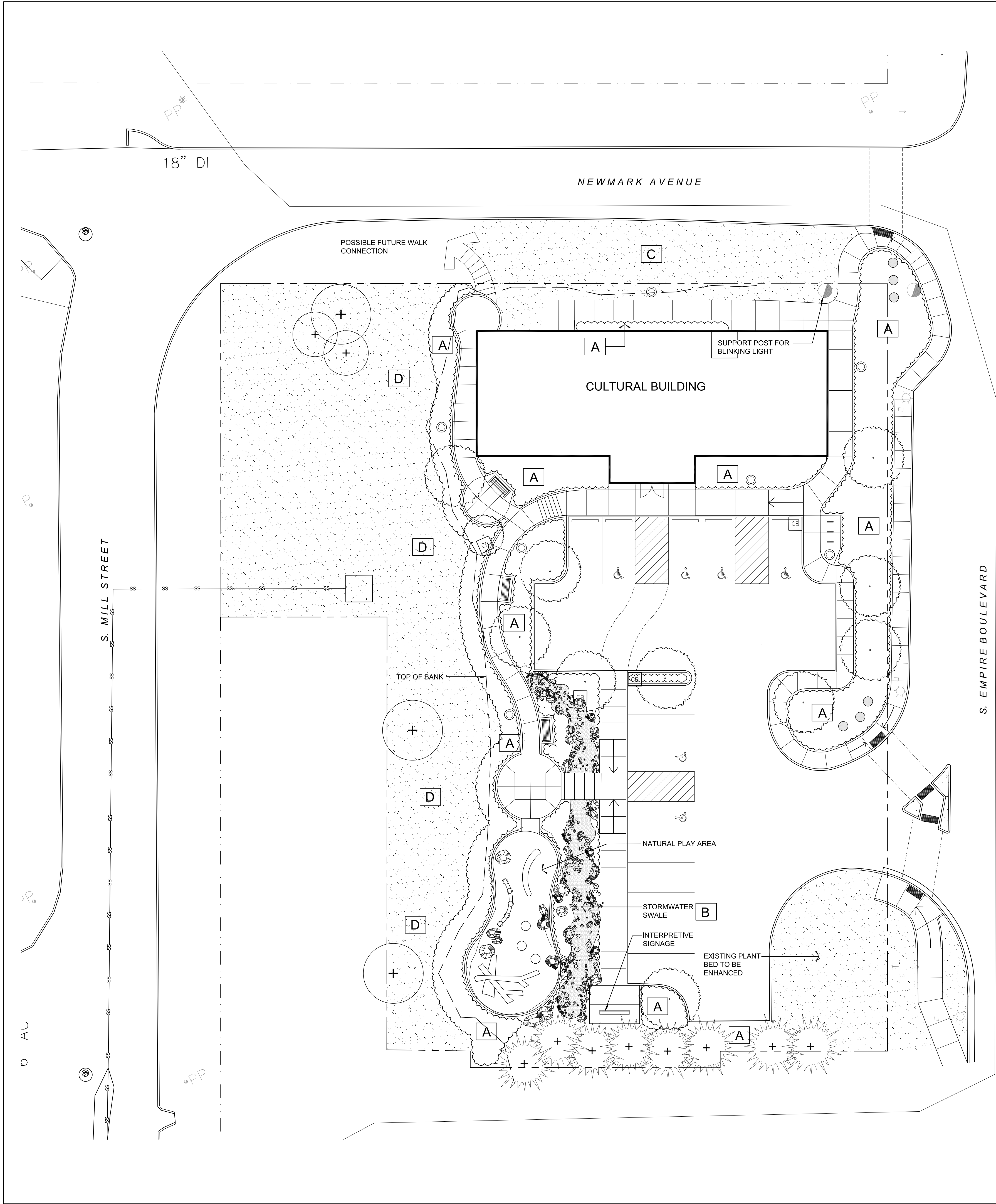
Summary



ATTACHMENT L

ILLUSTRATIVE SITE PLAN





PLANT SCHEDULE - ZONE 'A' PLANTS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	COMMENTS
TREES					
ACC	-	Acer circinatum	Vine Maple	6' ht.	multi-stem, B&B
ALR	-	Alnus rubra	Red Alder	2" cal.	Matching
CASA	-	Cascaia sagrada	Cascara Buckthorn	5 gal.	matching, full, multi-stem
FRLA	-	Fraxinus latifolia	Oregon Ash	1.5' cal.	Matching, full, B&B
GAEL	-	Garrya elliptica	Silk Tassel Tree	4' ht.	Matching, full
PIC	-	Pinus contorta 'Contorta'	Shore Pine	4' ht.	Matching, full, B&B
TP	-	Thuja plicata	Western Red Cedar	10' ht.	Matching, full
SHRUBS					
ACO	-	Arctostaphylos columbiana	Hairy Manzanita	3 gal.	matching, full
COS	-	Cornus sericea	Red-Osier Dogwood	30" ht.	matching, full
COSEF	-	Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	30" ht.	matching, full
HD	-	Holodiscus discolor	Ocean Spray	4' ht.	matching, full
MAA	-	Mahonia aquifolium	Oregon Grape	3 gal.	matching, full
MC	-	Myrica californica	Pacific Wax Myrtle	5 gal.	matching, full
PHC	-	Physocarpus capitatus	Pacific Nine Bark	3 gal.	Matching, full
RHM	-	Rhododendron Macrophyllum	Coast Rhododendron	30" ht.	matching, full
RON	-	Rosa nutkana	Nootka Rose	3' ht.	matching, full
RIS	-	Ribes sanguineum	Red Flowering Currant	5 gal.	matching, full
SYA	-	Symphoricarpos albus	Snowberry	3' ht.	matching, full
VO	-	Vaccinium ovatum	Evergreen huckleberry	3 gal.	matching, full

GROUNDCOVERS, PERENNIALS, GRASSES AND BULBS

AU	24" o.c.	Arctostaphylos uva-ursi	Kinnikinnick	1 gal.	matching, full
BL5	24" o.c.	Blechnum spicant	Deer Fern	1 gal.	matching, full
CQ	-	Camassia quamash	Camas	bulb	large
GS	-	Gaultheria shallon	Sallal	1 gal.	matching, full
FC	12" o.c.	Fragaria chiloensis	Beach Strawberry	4" pots	matching, full
IT	-	Iris tenax	Pacific Iris	bulb	large
LUPO	-	Lupinus polyphyllus	Large-Leaf Lupine	1 gal.	matching, full
POM	-	Polystichum munitum	Sword Fern	3 gal.	matching, full

PLANT SCHEDULE - ZONE 'B' STORMWATER PLANTS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	COMMENTS
SHRUBS, PERENNIALS, GRASSES, FERNS AND BULBS					
CAO	-	Carex elynops	Slough Sedge	4" pots	
COS	-	Cornus sericea	Red-Osier Dogwood	30" ht.	matching, full
COSEF	-	Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	30" ht.	matching, full
CQ	-	Camassia quamash	Camas	bulb	large
DC	-	Deschampsia cespitosa	Tufted Hair Grass	1 gal.	matching, full
ELPA	-	Elocharis palustris	Spike-Rush	4" pot	matching, full
IT	-	Iris tenax	Pacific Iris	bulb	large
LUPO	-	Lupinus polyphyllus	Large-Leaf Lupine	1 gal.	matching, full
MAA	-	Mahonia aquifolium	Oregon Grape	3 gal.	matching, full

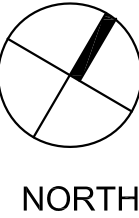
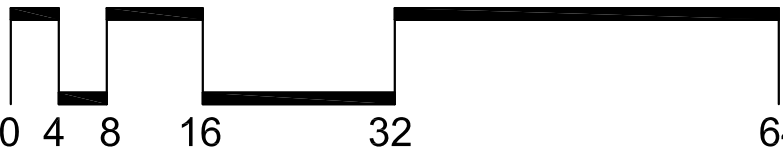
IRRIGATION SYSTEM DESCRIPTION

1. AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPE AREAS.
2. SYSTEM WILL PROVIDE HEAD TO HEAD COVERAGE.
3. SYSTEM WILL PROVIDE SEPARATE ZONES FOR DIFFERENT SOLAR ORIENTATIONS.
4. HEAD LAYOUT WILL MINIMIZE OVERSPRAY ONTO PAVED SURFACES.
5. A FULLY DOCUMENTED IRRIGATION PLAN WILL BE SUBMITTED FOR BUILDING PERMIT.

LEGEND

	ZONE 'A' NEW PLANT BED SEE SCHEDULE		POLE LIGHTING
	ZONE 'B' STORMWATER SWALE SEE SCHEDULE		STORY POLES
	ZONE 'C' EXISTING VEGETATION EMBANKMENT. REMOVE INVASIVE PLANTS. REPLACE WITH NATIVE MATERIALS SEE ZONE 'A' PLANTS.		BIKE RACK
	EMBANKMENT, EXISTING GRASSY SLOPE TO REMAIN. REMOVE UNHEALTHY AND INVASIVE PLANTS.		BENCH
	EXISTING VEGETATION		STORMWATER SWALE
	PROPOSED DECIDUOUS + CONIFEROUS TREES. SEE ZONE 'A' SCHEDULE		
	EXISTING DECIDUOUS + CONIFEROUS TREES TO REMAIN		

LANDSCAPE PLAN



474 Willamette Street
Suite 305
Eugene, Oregon 97401

P 541.683.5803

F 541.683.8183

www.DLAdesign.com



CROW/CLAY &
ASSOCIATES

125 CENTRAL
AVE #400
COOS BAY, OR
97420

541-269-9388

HOLLERING PLACE - CULTURAL BUILDING
112 S. EMPIRE BOULEVARD, COOS BAY, OR.

Date: 10.29.19

Drawn By: RS

Checked By: DJD

Submission:
LAND USE

Revisions

LA-2

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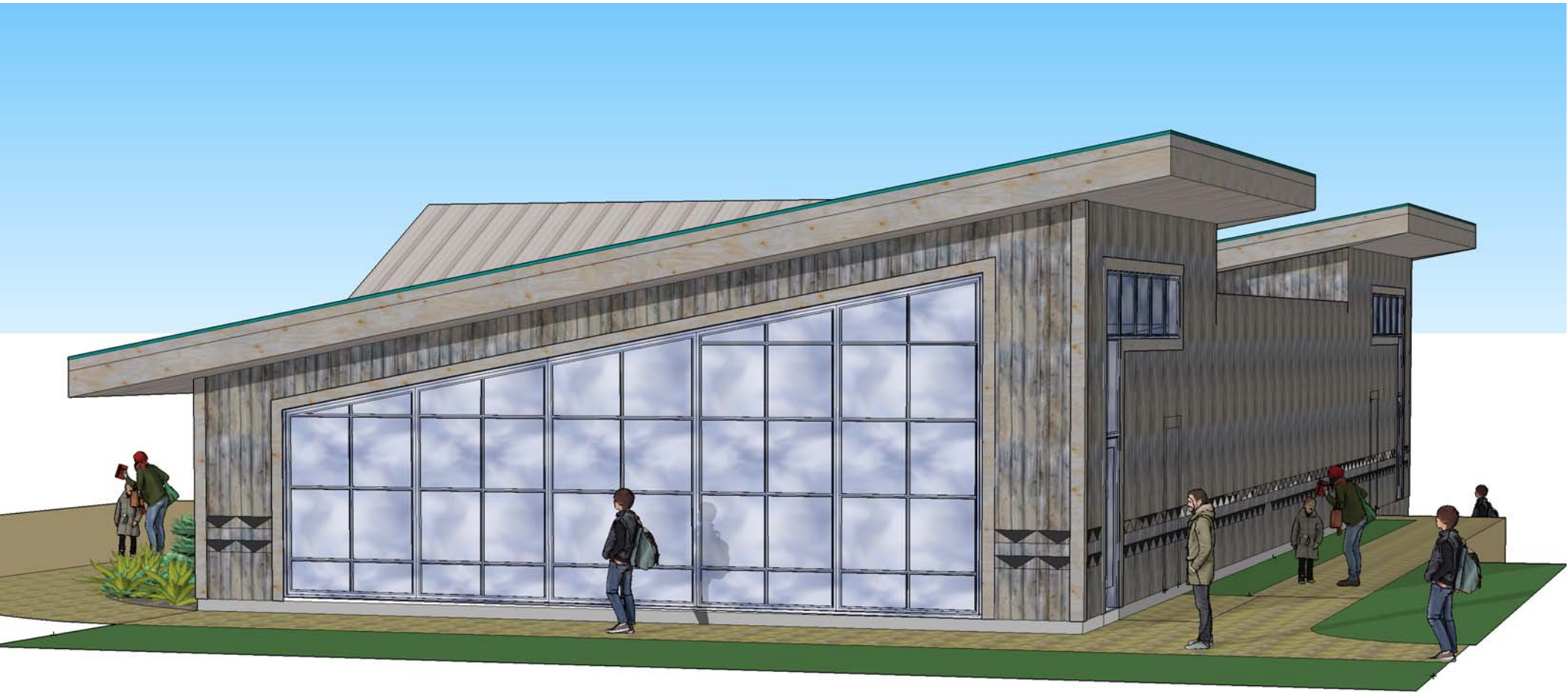


CULTURAL BUILDING

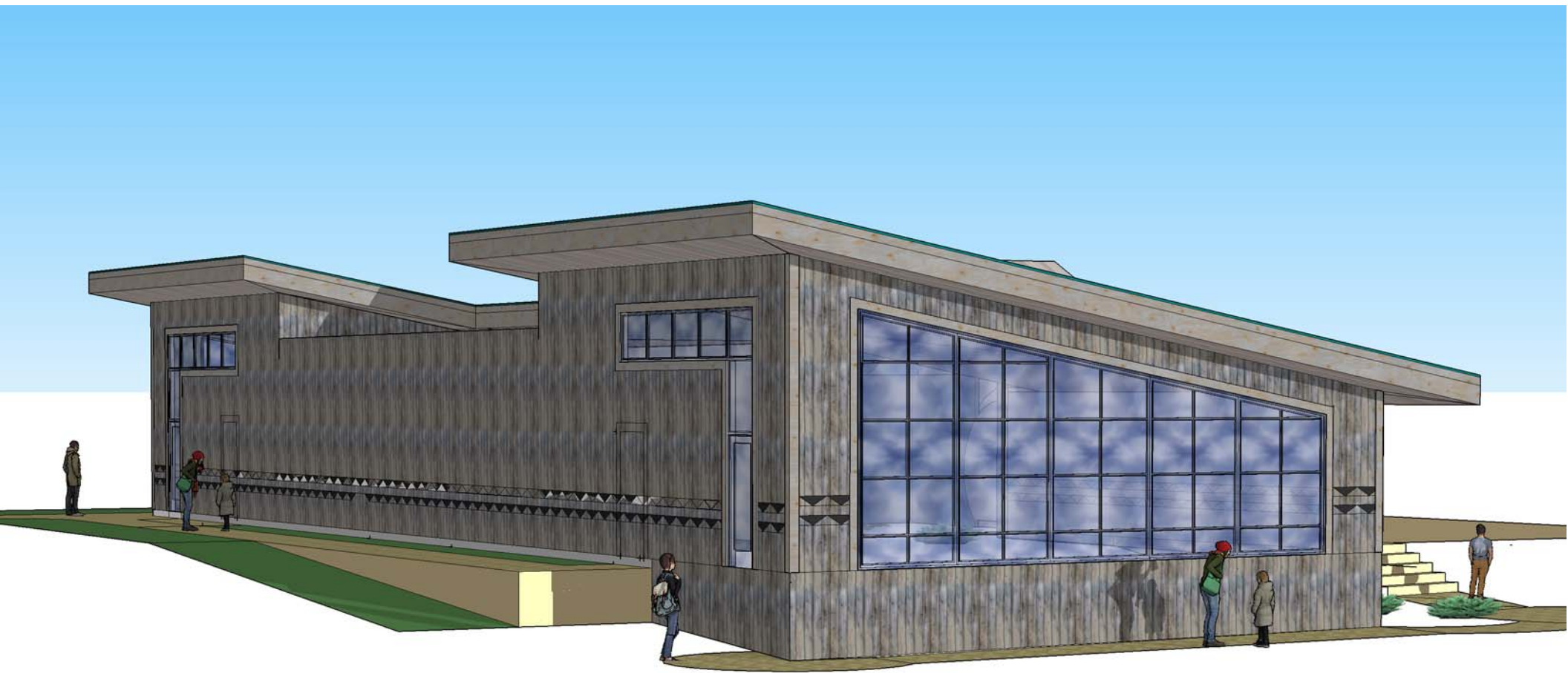
AERIAL VIEW FROM SOUTH
WEST.
ATTACHMENT O



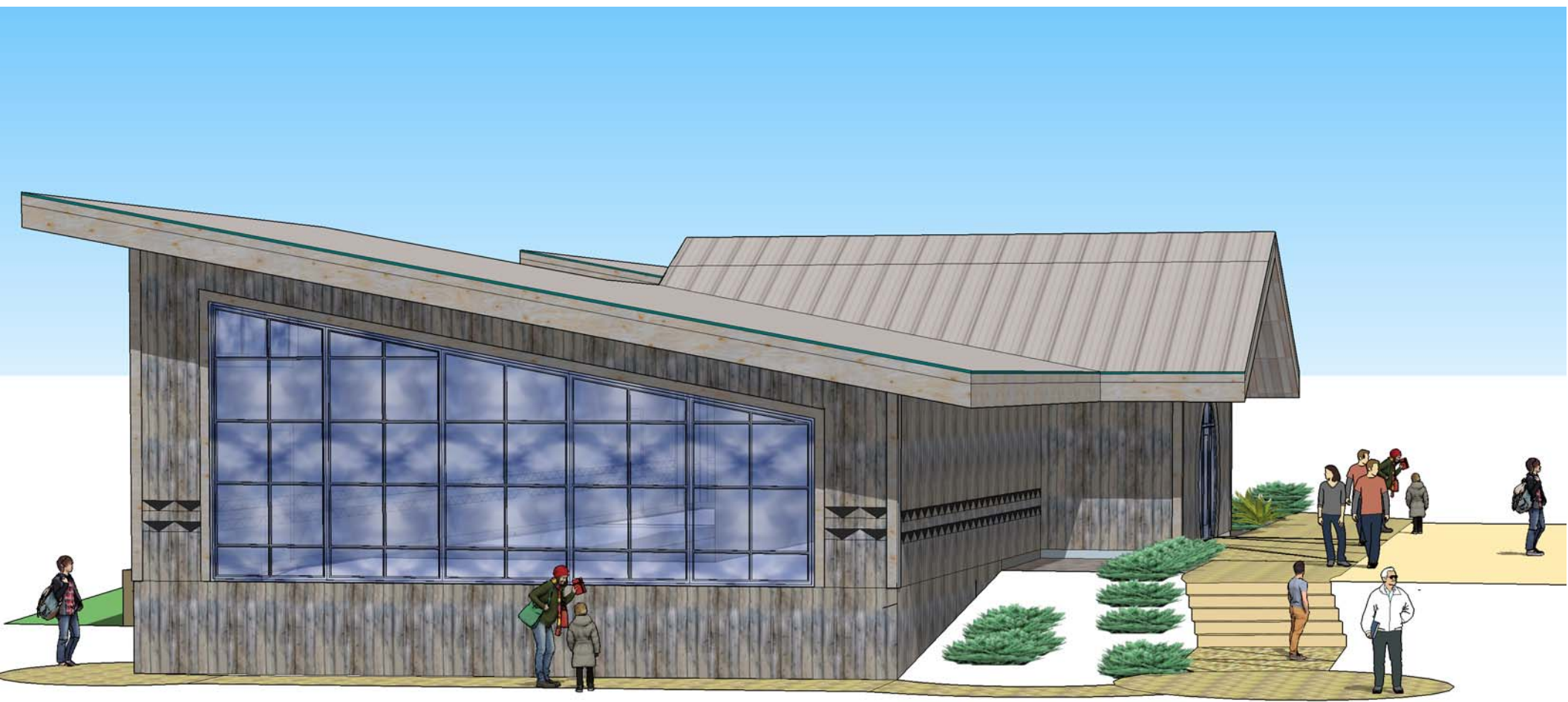
EAST VIEW FROM EMPIRE
ATTACHMENT 0



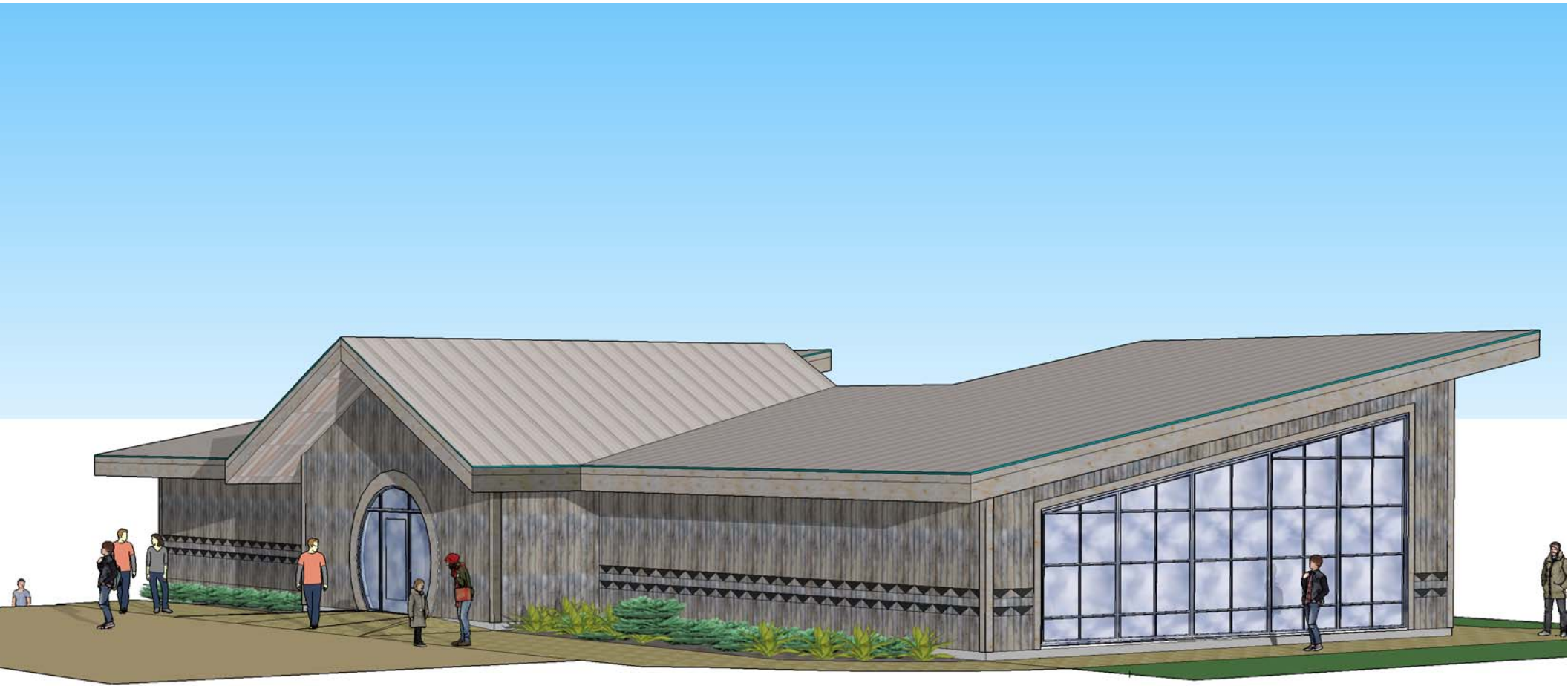
EAST VIEW @ FACE OF BUILDING
ATTACHMENT O



VIEW FROM NORTH WEST
ATTACHMENT O



VIEW FROM SOUTH WEST
ATTACHMENT O



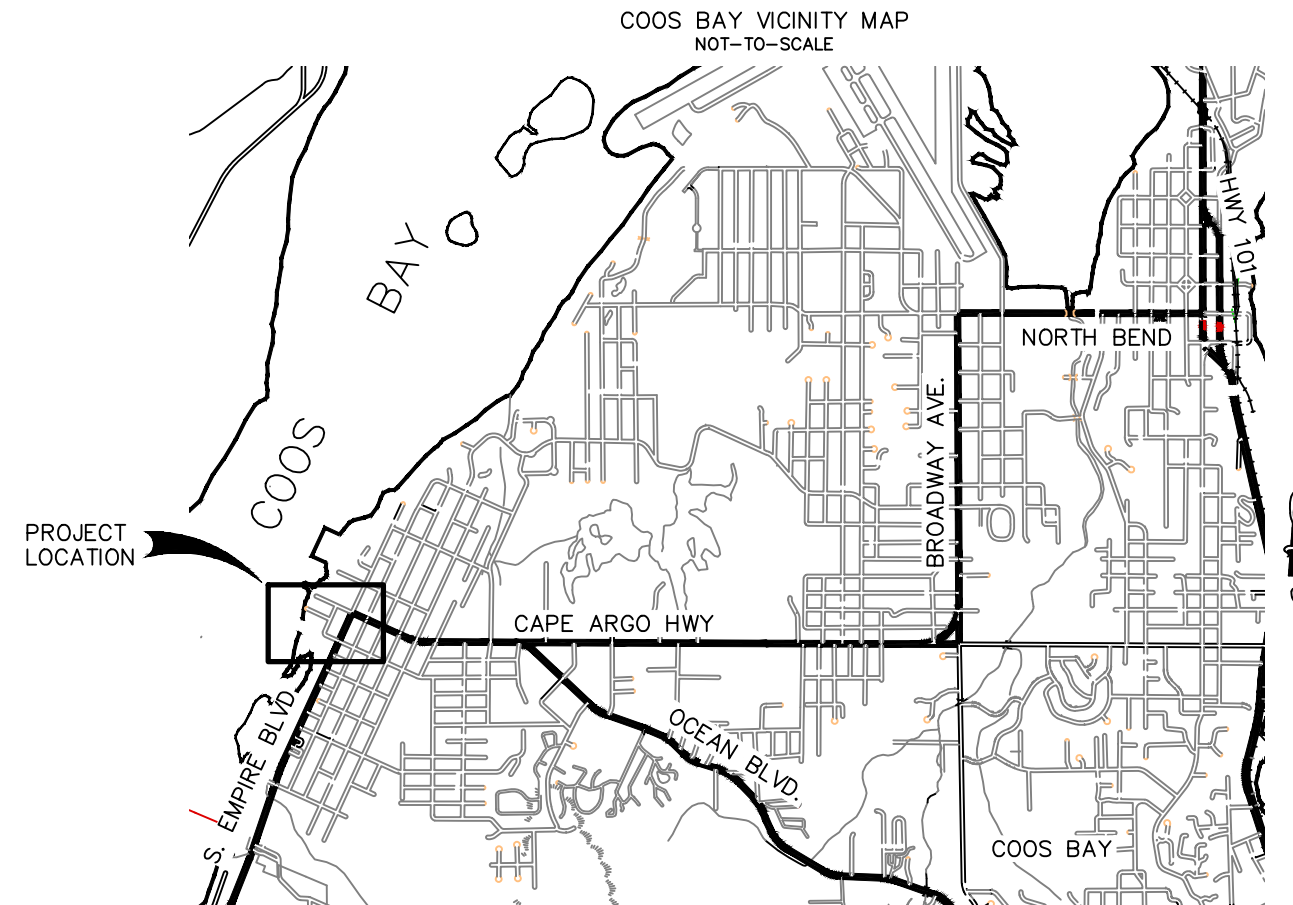
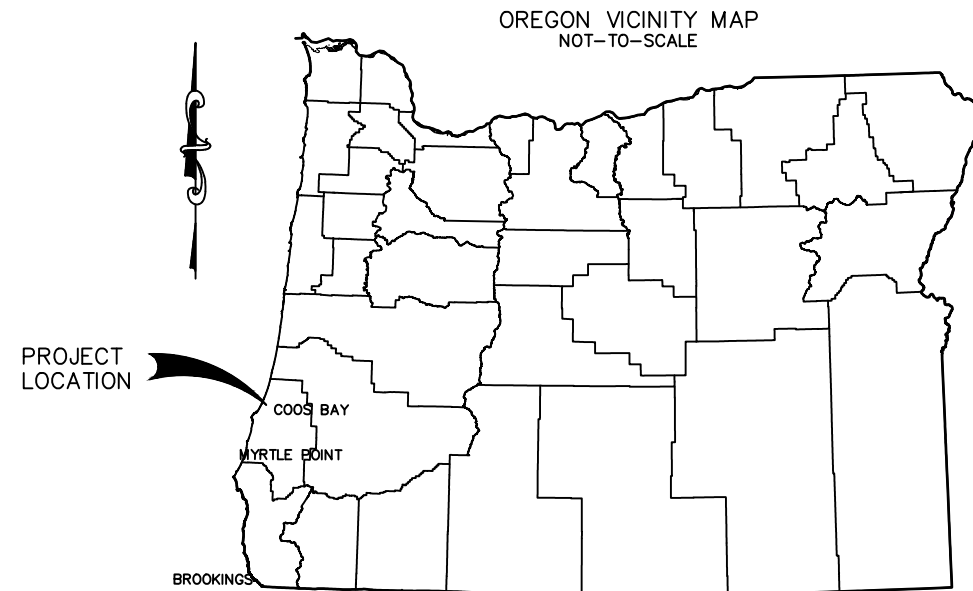
VIEW FROM SOUTH EAST
ATTACHMENT O



VIEW FROM SOUTH WEST
ATTACHMENT O

HOLLERING PLACE—CULTURAL CENTER

TAX LOTS 6000, 6100, & 6700 TOWNSHIP 25 SOUTH, RANGE 13 EAST, SECTION 20,
WILLAMETTE MERIDIAN, COOS COUNTY



CLIENT:

CROW/ CLAY & ASSOCIATES, INC.
125 W CENTRAL AVE., SUITE 400
COOS BAY, OREGON 97420
(541)269- 9388

ENGINEER:

STUNTZNER ENGINEERING & FORESTRY, LLC.
P.O. BOX 118, 705 S. 4TH STREET
COOS BAY, OREGON 97420
(541)267-2872 FAX (541)267-0588

SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS
3. IMPROVEMENTS
4. GRADING EXHIBIT
5. DETAILS
6. DETAILS

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* COOS BAY * DALLAS *
* FOREST GROVE *

DESIGNED BY:
MEH

DRAWN BY:
SIE

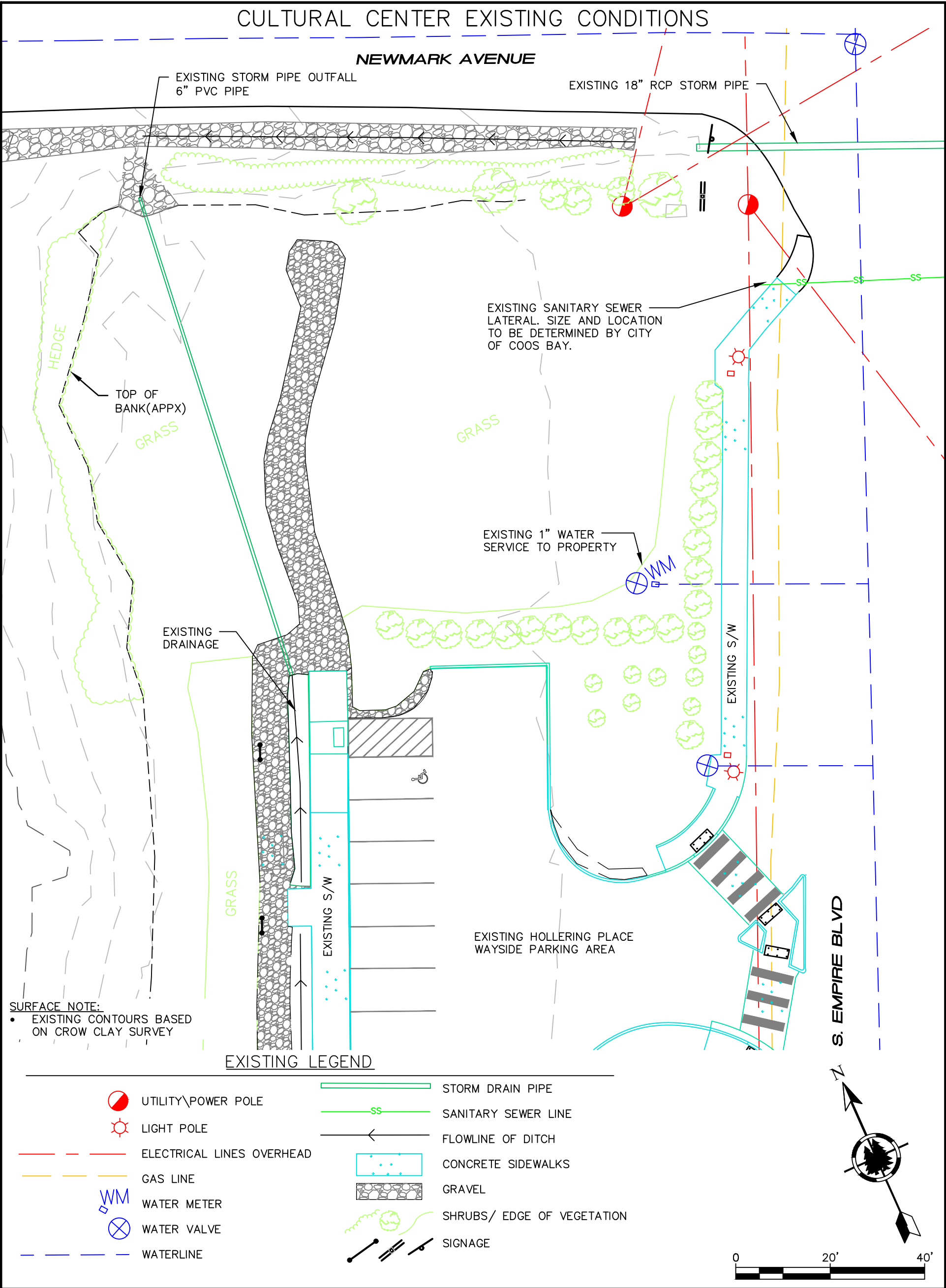
CHECKED BY:
MEH

DATE:
SEP 2019

REVISED:

JOB NAME:
HOLLERING PLACE

JOB NO: 119-071 SHEET: 1 OF 7



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DESIGNED BY: MEH

DRAWN BY: ABM

CHECKED BY: MEH

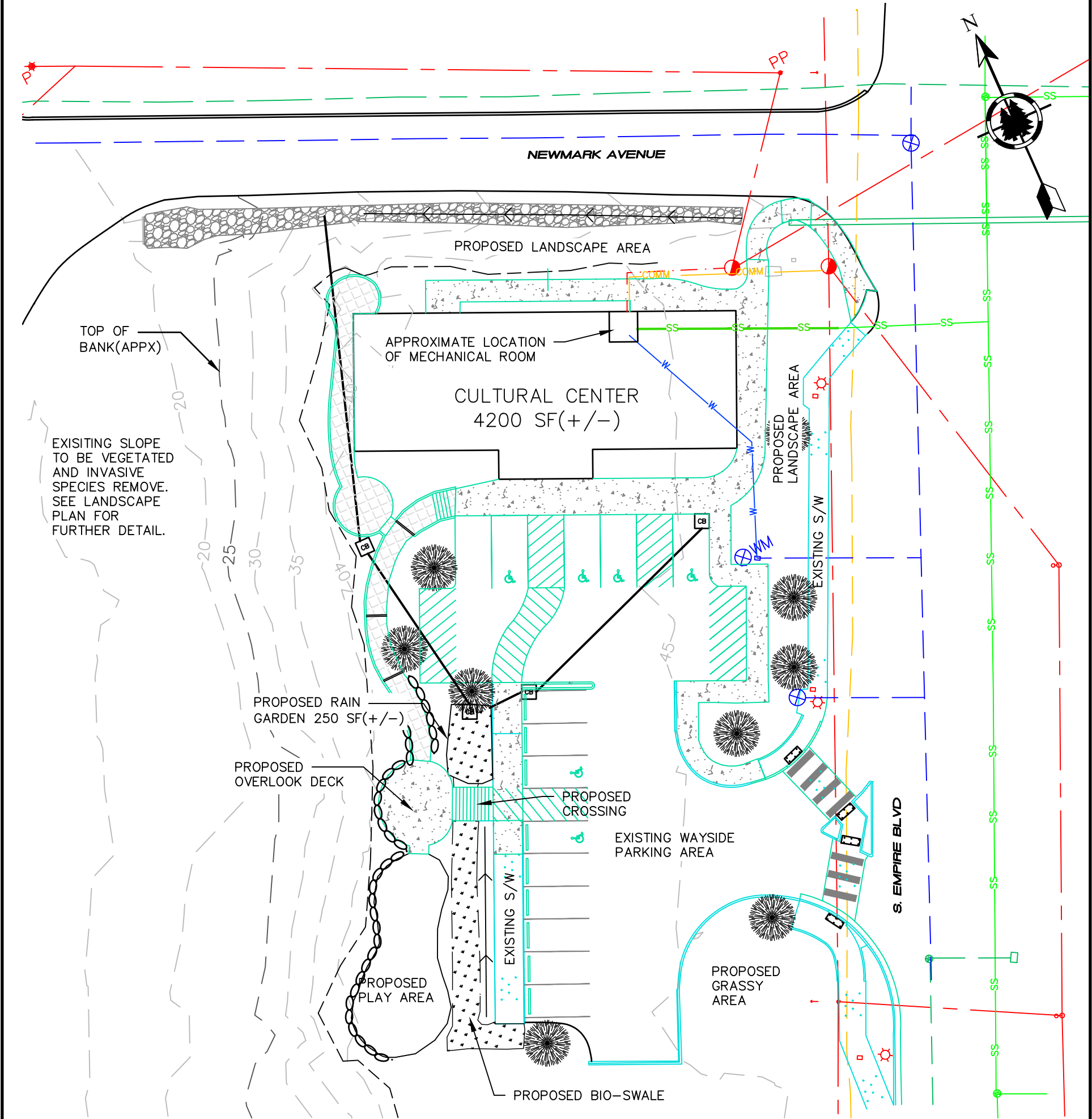
DATE: SEP 2019

REVISED:

JOB NAME: HOLLERING PLACE

JOB NO: 119-071 SHEET: 2 OF 7

CULTURAL CENTER IMPROVEMENTS



LEGEND

- PROPOSED CONCRETE SIDEWALKS
- PROPOSED BUILDING
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPE TREES (APPX)
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM PIPING
- PROPOSED ELECTRICAL
- PROPOSED COMMUNICATIONS
- PROPOSED WATER
- PROPOSED SANITARY SEWER

SITE AREA = 34,850 SF (+/-)
IMPERVIOUS AREA = 14,000 SF (+/-)
BUILDING AREA = 4,200 SF (+/-)

- NOTES:
- FINAL LANDSCAPING NOT SHOWN FOR CLARITY. SEE ARCHITECTURAL PLANS FOR LANDSCAPING DETAILS.
 - EXISTING STORM PIPE SHALL BE REROUTED AROUND NEW BUILDING FOUNDATION AND CONNECT TO NEW RAIN GARDEN.
 - EXISTING PARKING AREA TO REMAIN. SAWCUT AND MATCH PROPOSED AC TO EXISTING.



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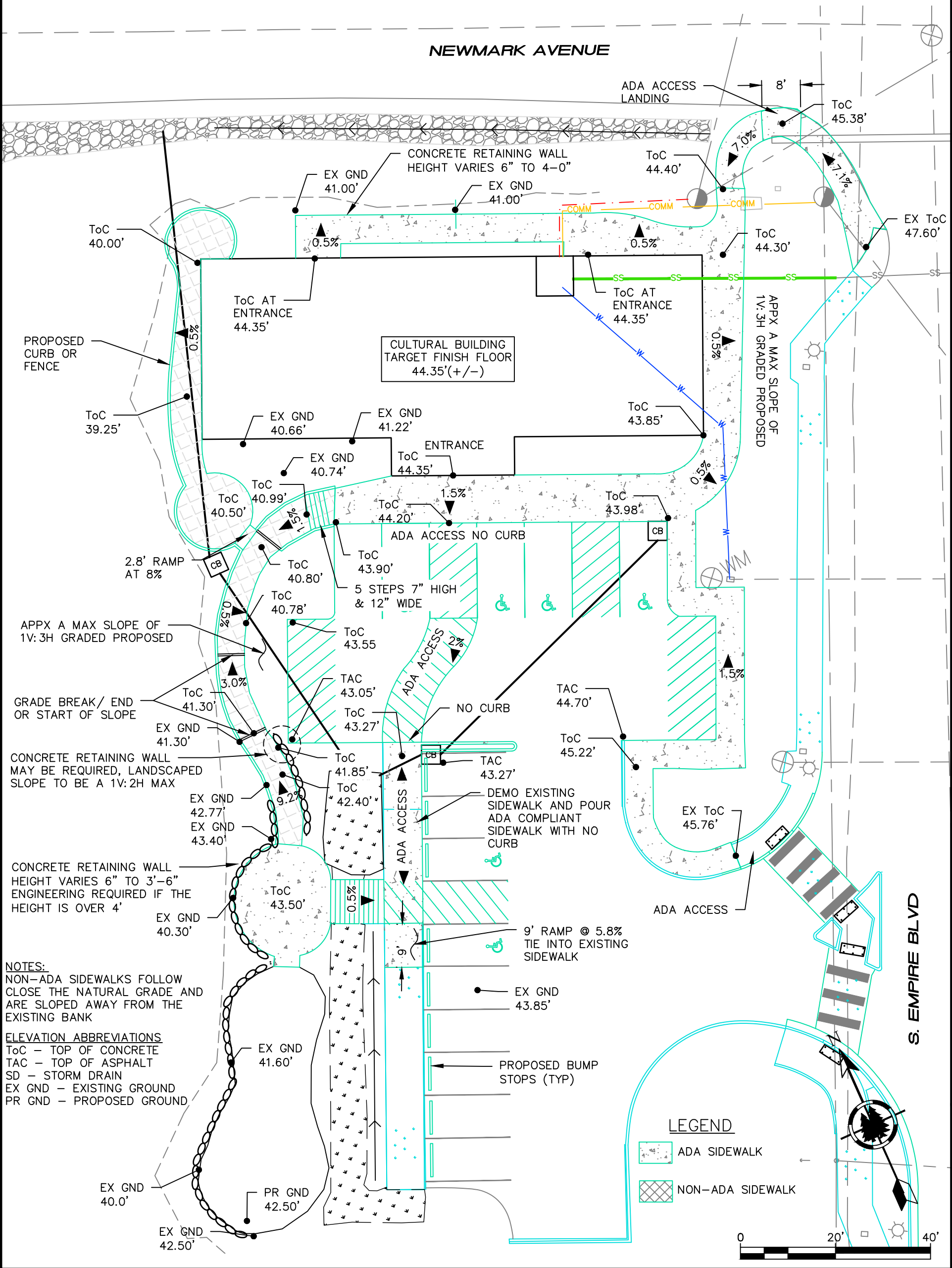
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DESIGNED BY: MEH	
DRAWN BY: SIE	
CHECKED BY: MEH	
DATE: SEP 2019	
REVISED:	
JOB NAME: HOLLERING PLACE	
JOB NO: 119-071	SHEET: 3 OF 7

CULTURAL CENTER PRELIMINARY GRADING EXHIBIT

NEWMARK AVENUE



NOTES:
NON-ADA SIDEWALKS FOLLOW
CLOSE THE NATURAL GRADE AND
ARE SLOPED AWAY FROM THE
EXISTING BANK

ELEVATION ABBREVIATIONS
ToC - TOP OF CONCRETE
TAC - TOP OF ASPHALT
SD - STORM DRAIN
EX GND - EXISTING GROUND
PR GND - PROPOSED GROUND



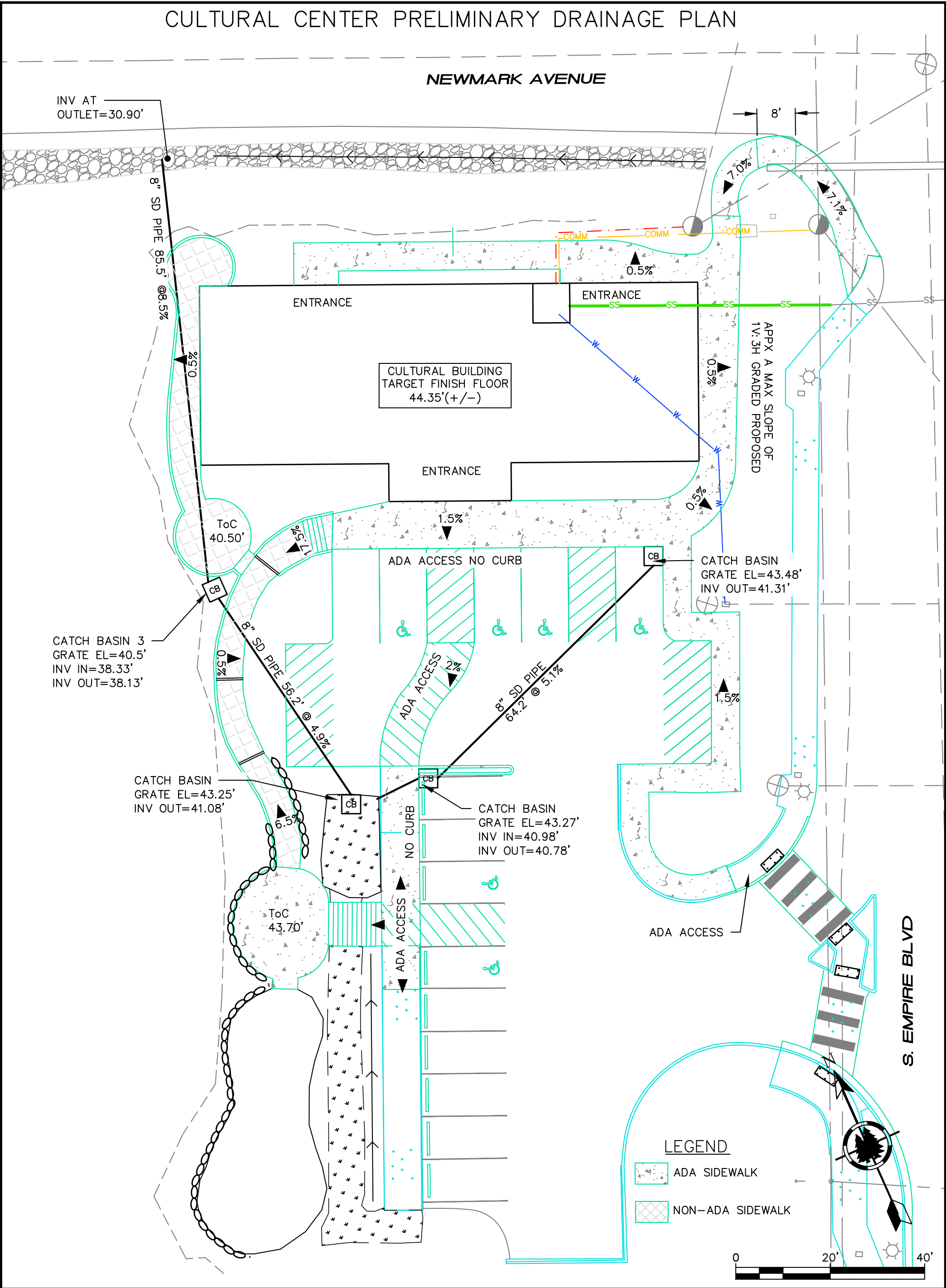
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DESIGNED BY:	MEH
DRAWN BY:	ABM
CHECKED BY:	MEH
DATE:	JAN 2020
REVISED:	
JOB NAME:	HOLLERING PLACE
JOB NO:	119-071
SHEET:	4 OF 7



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DESIGNED BY: MEH

DRAWN BY: ABM

CHECKED BY: MEH

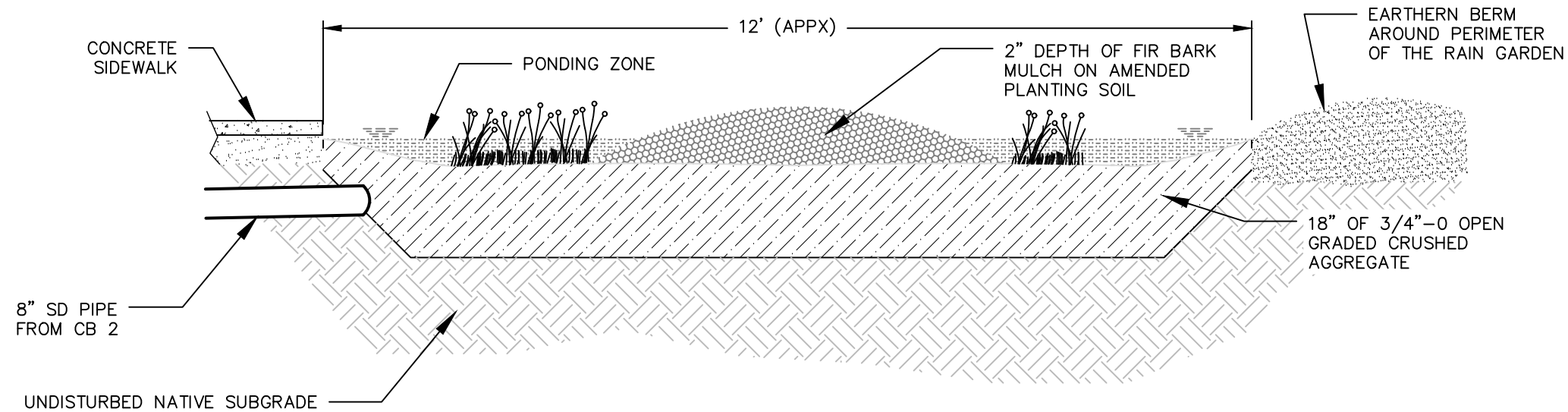
DATE: JAN 2020

REVISED:

JOB NAME: HOLLERING PLACE

JOB NO: 119-071 SHEET: 5 OF 7

DETAILS

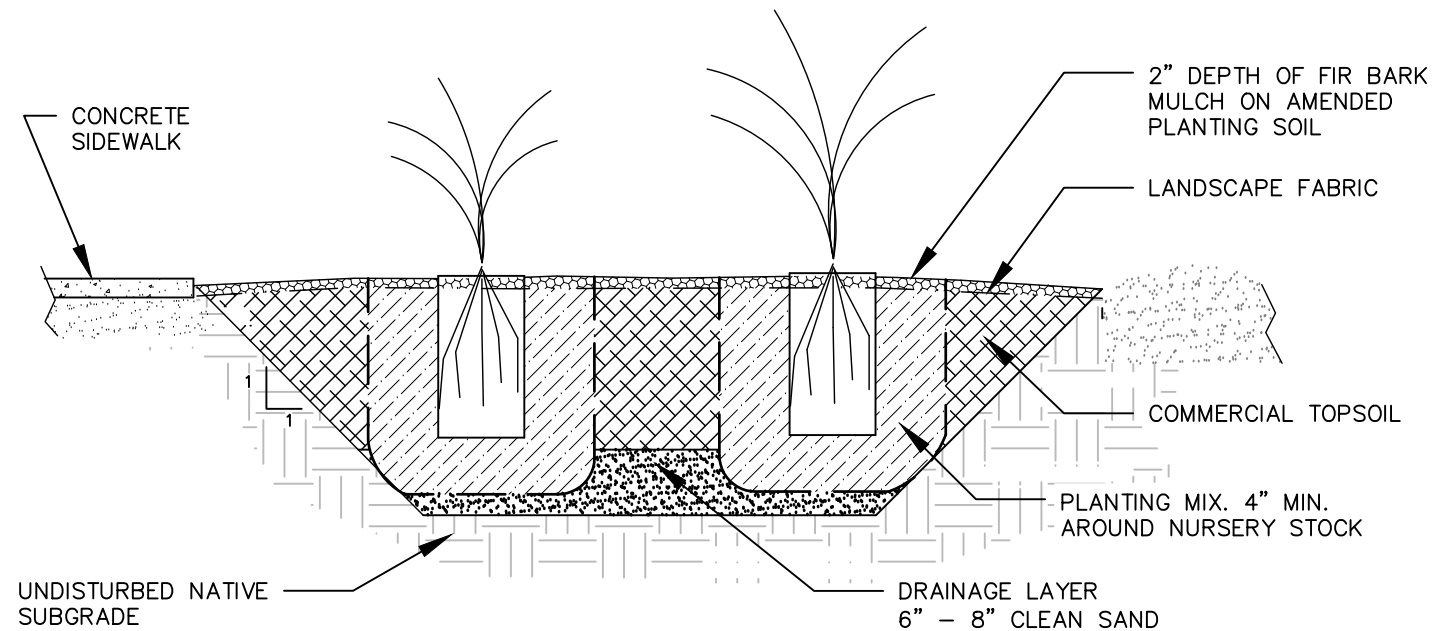


- DETAIL NOTES:**
1. PLANTINGS NOT SHOWN FOR CLARITY, SEE LANDSCAPE PLAN FOR PLANTINGS.
 2. AMENDED PLANTING SOIL MIX MAY BE SUPPLIED FROM ON OR OFF-SITE WITH THE FOLLOWING CHARACTERISTICS:
A. 60 % LOAMY SAND AND 40% COMPOST.
B. ORGANIC CONTENT MATTER FROM 8-10 % BY WEIGHT.

A INFILTRATION/ RAIN GARDEN
6 SCALE: NTS

PLANTING NOTES:

1. PLANT NURSERY STOCK IMMEDIATELY UPON DELIVERY TO SITE. SET PLANT UPRIGHT IN POSITION IN THE CENTER OF HOLE, AND COMPACT BACKFILL MIXTURE AROUND THE BALL OR ROOTS. THOROUGHLY WATER EACH PLANT WHEN THE HOLE IS 2/3 FULL OF BACKFILL. TAMP REMAINING SOIL IN PLACE AROUND THE PLANT CROWN AFTER WATERING.
2. PLANTING MIX TO CONSIST OF TWO PARTS TOPSOIL AND ONE PART SOIL AMENDMENT, BY VOLUME. SOIL AMENDMENT TO BE SAWDUST FORTIFIED WITH ORGANIC NITROGEN, OR APPROVED PLANTING MIX.
3. EXCAVATE PLANTING AREA ON 1:1 TO 24" BELOW FINISH GRADE OF PLANTING AREA. BACKFILL WITH 6-10" OF CLEAN SAND AND 14"-18" OF TOPSOIL TO 2" BELOW TOP OF EDGING.
4. STAKE ALL TREES WITH 2"x2"x6' STAKES, INSTALL A MINIMUM OF 24" INTO GROUND AND UTILIZE A MINIMUM OF TWO STAKES PER TREE WITH ONE TIE PER STAKE.
5. PLACE LANDSCAPE FABRIC 2" BELOW SURFACE SOILS OR BARK, CUT THROUGH FABRIC TO PLANT.
6. PLANTING SHALL COMPLY WITH THE SPACING NOTED ON SHEET 5. ALL NURSERY STOCK SHALL BE NO. 1 STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. ALL PLANTS SHALL HAVE A 90 DAY MAINTENANCE PERIOD, DURING WHICH PERIOD ANY PLANTS SHOWING EVIDENCE OF DISEASE OR WEAKNESS SHALL BE REPLACED AT NO COST TO THE OWNER.



B TYPICAL SWALE DETAIL
6 SCALE: NTS

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* FOREST GROVE *

DESIGNED BY: MEH

DRAWN BY: ABM

CHECKED BY: MEH

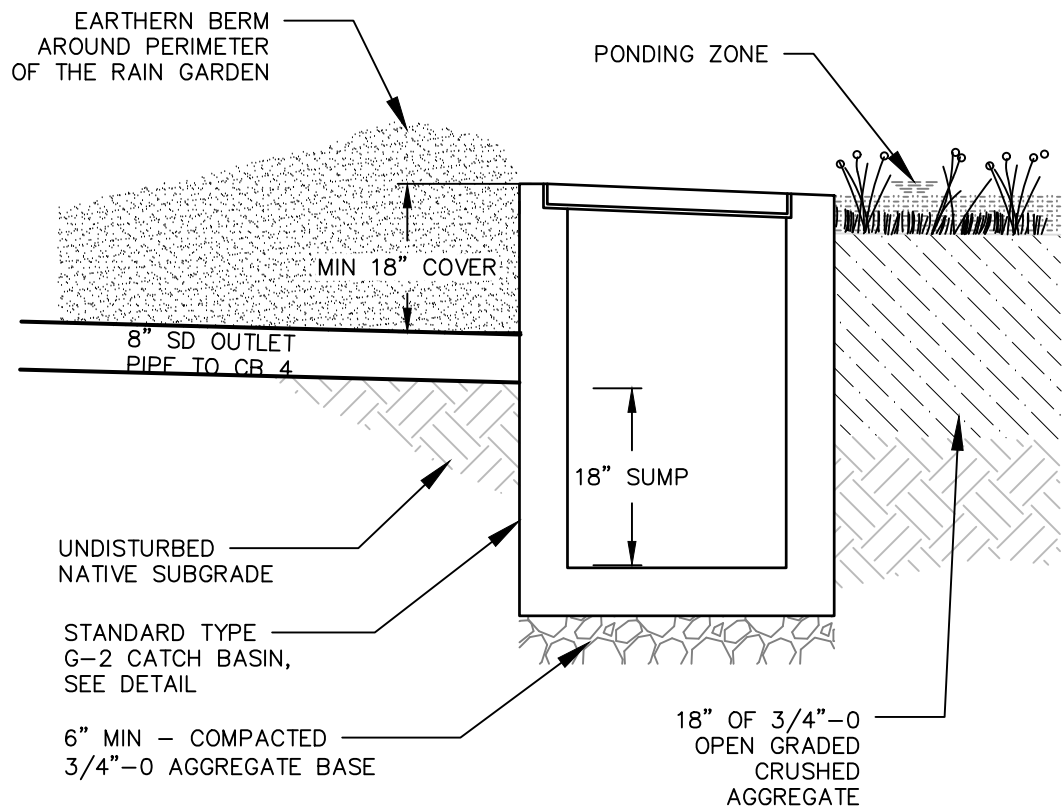
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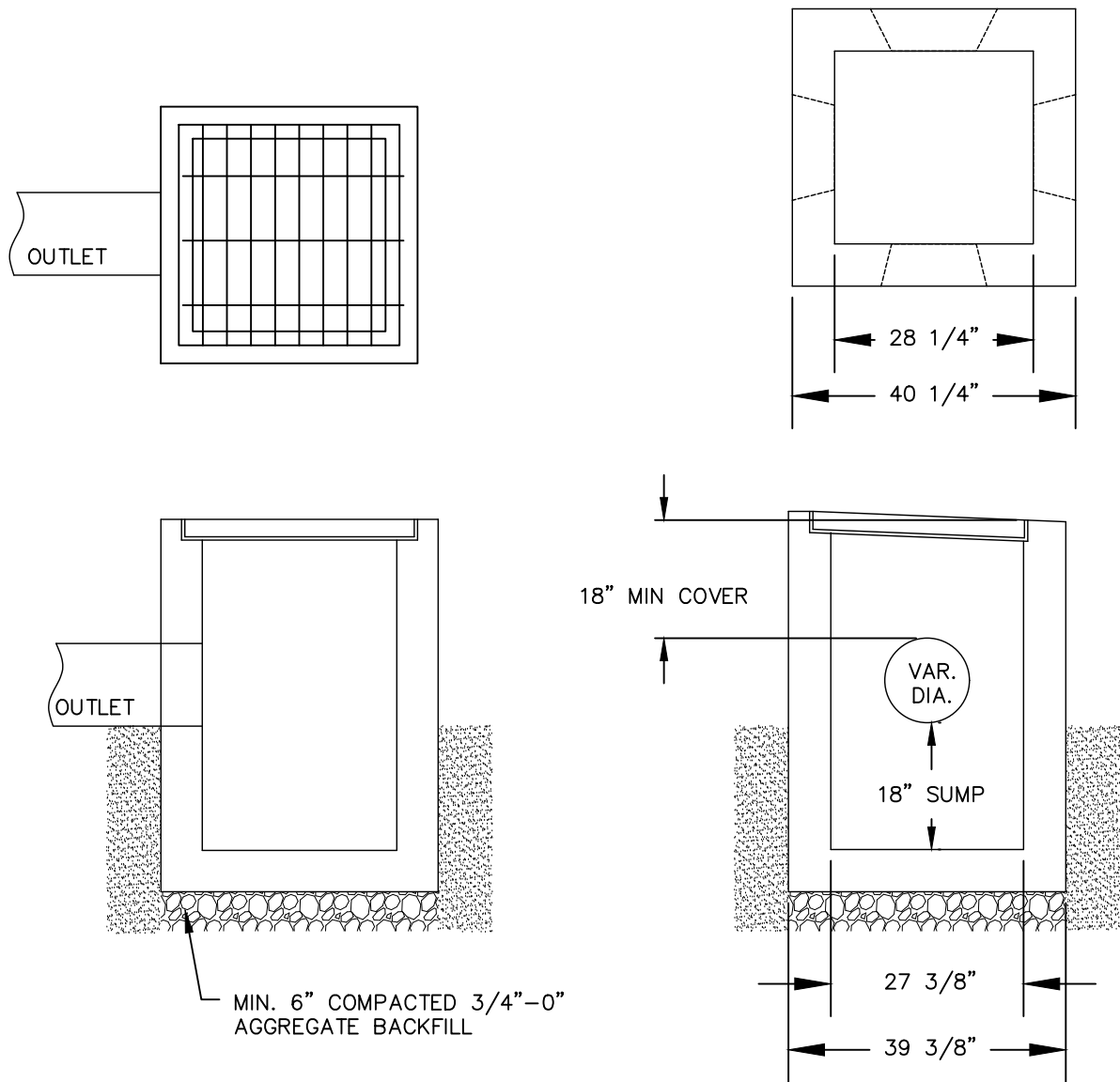
JOB NAME: HOLLERING PLACE

JOB NO: 119-071 SHEET: 6 OF 7

DETAILS



A
7 INFILTRATION/ RAIN GARDEN CATCH BASIN
SCALE: NTS



- DETAIL NOTES:
1. CONCRETE STRENGTH SHALL BE 3,300-PSI.
 2. CATCH BASIN, FRAME, AND GRATES SHALL MEET H2O LOADING.
 3. INSIDE FRAME DIMENSIONS: 2'-3 3/8", 2'-8 1/2".
 4. 3/8" CROSS BARS SHALL BE FLUSH WITH THE GRATE SURFACE AND MAY BE FILLET WELDED, RESISTANCE WELDED OR ELECTROFORGED TO BEARING BARS.
 5. PRECAST WALLS SHALL BE A MINIMUM 4-INCH THICK. CAST IN PLACE BASE WALLS SHALL BE 6-INCHES THICK.

B
7 TYPICAL TYPE G-2 CATCH BASIN
SCALE: NTS

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DESIGNED BY: MEH

DRAWN BY: ABM

CHECKED BY: MEH

DATE: SEP 2019

REVISED:

JOB NAME:
HOLLERING PLACE

JOB NO: 119-071 SHEET: 7 OF 7

Stuntzner Engineering & Forestry, LLC

Hollering Place

Technical Memorandum



Mark E Hampton PE
Rev. 02-06-2020



TELEPHONE (541) 267-2872
FAX (541) 267-0588
stuntzner.com

705 SO. 4TH, P.O. BOX 118
COOS BAY, OREGON 97420

COOS BAY - DALLAS - FOREST GROVE - JUNCTION CITY

Rev 02-06-2020

**Technical Memorandum
Hollering Place
Sanitary and Storm Sewer
Empire, Oregon**

It is our understanding that the intent of the overall project shall involve the development of four (4) sites (parcels) for the Hollering Place project. Parcel one (1) is identified as Tax Lot 6000 of Block 25 of the Empire City Second Addition to Empire, Map 25S 13W 20BB, currently owned by the Confederated Tribe of Coos, Lower Umpqua Siuslaw Indians along with parcel 6700. On these two parcels anticipated improvements will include the development of a new Cultural Resources Center, along with two (2) future vacation rentals, associated parking and other civil/site development and utility improvements, and a potential sanitary sewer pump station, which may be located near the southerly vacation rental. Parcel two (2) is identified as Tax Lots 300 & 301 of Block 12 of the Belt Line Addition to Empire City, Map 25S 13 W 19AA, currently owned by the Urban Renewal Agency, City of Coos Bay. On these two parcels it is anticipated that approximately 16 buildings shall be constructed consisting of several retail outlets with second story residential facilities, 10 vacation rentals and an open concept meeting area, carving station, public restrooms and storage facility, along with a restaurant/ lounge, parking and other civil/ site development and utility improvements.

Existing Sanitary Sewer System Description – The Hollering Place development lies within a small sanitary sewer collection basin (Basin J) within the City of Coos Bay's collection system. Currently, sanitary sewer flows within the basin are directed to an existing pump station (PS 14), which in turn pumps sanitary sewer from the basin up Michigan Avenue to the existing gravity sewer system located within Empire Blvd. Gravity flows from the discharge point are directed by gravity through an existing 18-inch sanitary sewer line to Waste Water Treatment Plant No 2. Pump Station 14 is located near the intersection of Mill Street and Holland Avenue near the Empire Boat Ramp and recreation facility. This pump station is a small submersible type pump station that is in good condition and provides good pumping service to the existing system, however, it is anticipated with the development of the proposed Hollering Place development shall exceed the available pumping capacity of the existing system and that an additional pump station will be required to provide additional pumping service to the proposed development within the existing basin (further discussion to follow).

Cultural Center Building (upper site) Sanitary Sewer – Based on City maps and infrastructure it appears there may be a sanitary sewer service lateral in place along the easterly edge of said property to serve this upper portion of Tax Lot 6000. It is our recommendation that this sanitary sewer lateral be utilized to service the new Cultural Center, upon request the City of

Coos Bay televised said main along Empire Boulevard and confirmed a noted lateral is in place. It would still be our recommendation to utilize the said lateral and sewer main located within Empire Boulevard. One should note that the proposed connection point would be northerly of recent roadway improvements along Empire Boulevard and have no impact on the new roadway improvements recently completed.

Cultural Center Building (upper site) Sanitary Sewer Calculations – Based on Table 2 of OAR 340-071-0220 “Quantitates of Sewage Flows” several assumptions were made for Sewage Flows –

- Assumption 1 – Cultural Building with two (2) Gender Neutral restrooms and lunch staff area
- Assumption 2 – Cultural Building staff, assume ten (10) staff employees at fifty (50) gallons per day – $10 \times 50 = 500\text{gpd}$
- Assumption 3 – assume roughly twenty (20) patrons per day at ten (10) gallons per day – $20 \times 10 = 200\text{gpd}$
- Total anticipated Sanitary Sewerage flow for the Cultural Center Building is **~700gpd**
(Please note this could vary slightly based on season/ time of year)

Cultural Center Building (upper site) Stormwater Management – Currently, storm water from the existing Hollering Place Wayside parking area (Tax Lot 6700) sheet flows across the existing parking lot to flow through a series of 2-inch drain pipes located within the existing sidewalk and directed to a small gravel rain ditch, which flows northerly to a 6-inch drainage pipe directing flows to the existing gravel drainage ditch along the northerly edge of the said property which lies along the southerly edge of Newmark Avenue between Empire Blvd and Mill Street.

It is our recommendation that this existing gravel ditch be reconstructed as a natural drainage swale and planted with native wetland plantings along with the placement of several check dams. This will provide additional retainage and give the appearance of a more natural drainage. We would also recommend that the existing concrete crossings be replaced with more natural crossings i.e. wooden and/ or other arch type crossings.

Along the northern end of said ditch, a new rain garden/ retention pond shall be constructed to retain flows from both the Hollering Place Wayside and new Cultural Center. Said rain garden/ retention pond is estimated to be approximately 1000 gallons. Please note if the existing ditch is to remain as currently constructed, we would recommend increasing the volume of the proposed rain garden to approximately 1800 gallons for retention. Storm water would then flow from the retention pond into an overflow catch basin and piped northly to the existing gravel open ditch to the north edge of said property.

It is anticipated the storm water flows from the Cultural Center post development, roof and parking area shall be directed to a new catch basin located within the new parking lot and shall be directed to the proposed rain garden.

Vacation Rentals East Side of Mill Street Sanitary Sewer – For the future two (2) proposed vacation rentals located along the east side of Mill Street (lower section of Tax Lot 6000), we recommend that the sanitary sewer flows be directed and connected to the existing Basin J gravity system (located within Mill Street), and utilize the existing pump station 14 for pumping service and distribution.

Vacation Rentals East Side of Mill Street Sanitary Sewer Calculations - Based on Table 2 of OAR 340-071-0220 "Quantitates of Sewage Flows" the following assumptions were made –

- Assumption 1 – Dwellings "Condominiums, Multiple Family dwellings – including apartments – at 300gpd per unit
- Total anticipated Sanitary Sewerage flow for the Vacation Rentals is ~ **600gpd**

Vacation Rentals Stormwater Management – Stormwater runoff from the future two (2) vacation rentals located along the east side of Mill Street shall be directed towards the existing storm infrastructure on Mill Street. Storm water flows from these two vacation rentals shall sheet flow overland to an existing grass ditch line that flows southerly to an existing an existing catch basin and enter into the existing Mill Street storm water system. Storm water from the Mill Street storm water system then flow southerly to an existing drainage swale as constructed as part of the recent Empire Blvd roadway improvement project. Flows from said swale are then directed to an existing drainage ditch approximately 150-feet in length to an existing pond where said flows are then directed into the bay of Coos River.

Tax Lots 300& 301 Hollering Place Development Sanitary Sewer – As noted above this phase of development shall consist of the following; Development of approximately 16-buildings consisting of several retail outlets with second story residential facilities, 10 vacation rentals and an open concept meeting area, carving station, public restrooms and storage facility along with a restaurant/ lounge, parking and other civil/ site development and utility improvements.

As noted above the existing pump station No. 14 has limited capacity, so it is anticipated that an additional pump station will be required to convey sanitary sewer flows from the new development to the existing gravity system located within Empire Blvd.

Currently the location of the said proposed pump station is just southerly of the second Vacation Rental located along the easterly side of Mill Street. This is not our preferred location for placement of a pump station, as at times they can emit a bit of **odor** (not really what one may want by their vacation rental). Another location could possibly be located within the southeast corner of Tax Lot 301. As development progresses, further exploration may be required.

It is our recommendation that the new force main from the Hollering Place main development (TL 300 & 301) be directed to Mill Street then northerly along Mill Street to the intersection of Mill and Newmark thence easterly along Newmark to discharge into an existing manhole at the intersection of Newmark and Empire Blvd.

Tax Lots 300& 301 Hollering Place Development Sanitary Sewer Calculations – Based on Table 2 of OAR 340-071-0220 "Quantitates of Sewage Flows" the following assumptions were made –

- Assumption 1 Luxury Camp for Park Model type vacation rentals total of ten (10) at 100gpd for a total of **1,000gpd**
- Assumption 2 Restaurant and Lounge at 50gpd per seat assume 112 seats (total) $50 \times 112 =$ **5600gpd**
- Public Restrooms two (2) assume picnic park toilet at 150gpd each so $5 \times 150 =$ **300gpd**
- Second Floor residential units – assume 4, 2-bedroom units above each retail store at 300gpd each unit – $300 \times 4 = 1200 \times 2 =$ **2400gpd**
- First floor retail outlets – assume 2 bathrooms each at 15gpd per patron – assume 45 patrons per day – $45 \times 15 =$ **675gpd**
- Total anticipated sanitary sewer flow of Hollering Place Development = **~9,675gpd**

Tax Lots 300& 301 Hollering Place Development Storm Water Management – As noted above this phase of development shall consist of the following; Development of approximately 16-buildings consisting of several retail outlets with second story residential facilities, 10 vacation rentals and an open concept meeting area, carving station, public restrooms and storage facility along with a restaurant/ lounge, parking and other civil/ site development and utility improvements.

Based on utilization of ODOT's rational method of storm water runoff, the estimated pre-construction runoff is approximately 1.2 cfs and the anticipated post-construction runoff is estimated at approximately 3.3 cfs, with an estimated retention of 1480-gallons. Retention and/ or detention of storm water runoff shall be completed through a series of rain gardens, piping and drainage swales to maintain the pre-development storm runoff of said site. Runoff shall be directed northerly to the recently redirected storm water system located within Newmark Avenue and shall flow to the bay.

Other options to possibly minimize the amount of storm water runoff after post construction would be the utilization of permeable pavers in the carving station and common area. Utilization of said pavers would reduce the overland runoff of storm water, as it would be allowed to drain within the existing ground and minimize the overland shed/ flow. However, it is still recommended to utilize a series of rain gardens/ swales for the storm water management, these would be planted with native grasses and plants providing the appearance of a natural native system.

Summary – With the development of the proposed Hollering Place Development along with some minor additional infrastructure improvements, the said development shall have minimal impact to the existing storm and sanitary sewer infrastructure.

Feel free to contact our office if there are any further questions or comments.

Sincerely;
Stuntzner Engineering & Forestry, LLC



Mark E Hampton, PE
Professional Engineer



VIEW FROM SOUTH EAST
ATTACHMENT O



VIEW FROM SOUTH WEST
ATTACHMENT O



VIEW FROM NORTH EAST
ATTACHMENT O

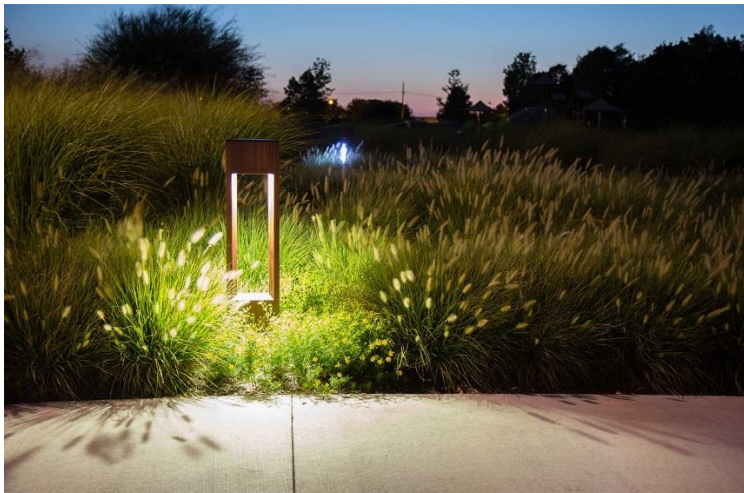


VIEW FROM NORTH WEST
ATTACHMENT O



VIEW FROM THE EAST
ATTACHMENT O

EXAMPLES OF LIGHT FIXTURES



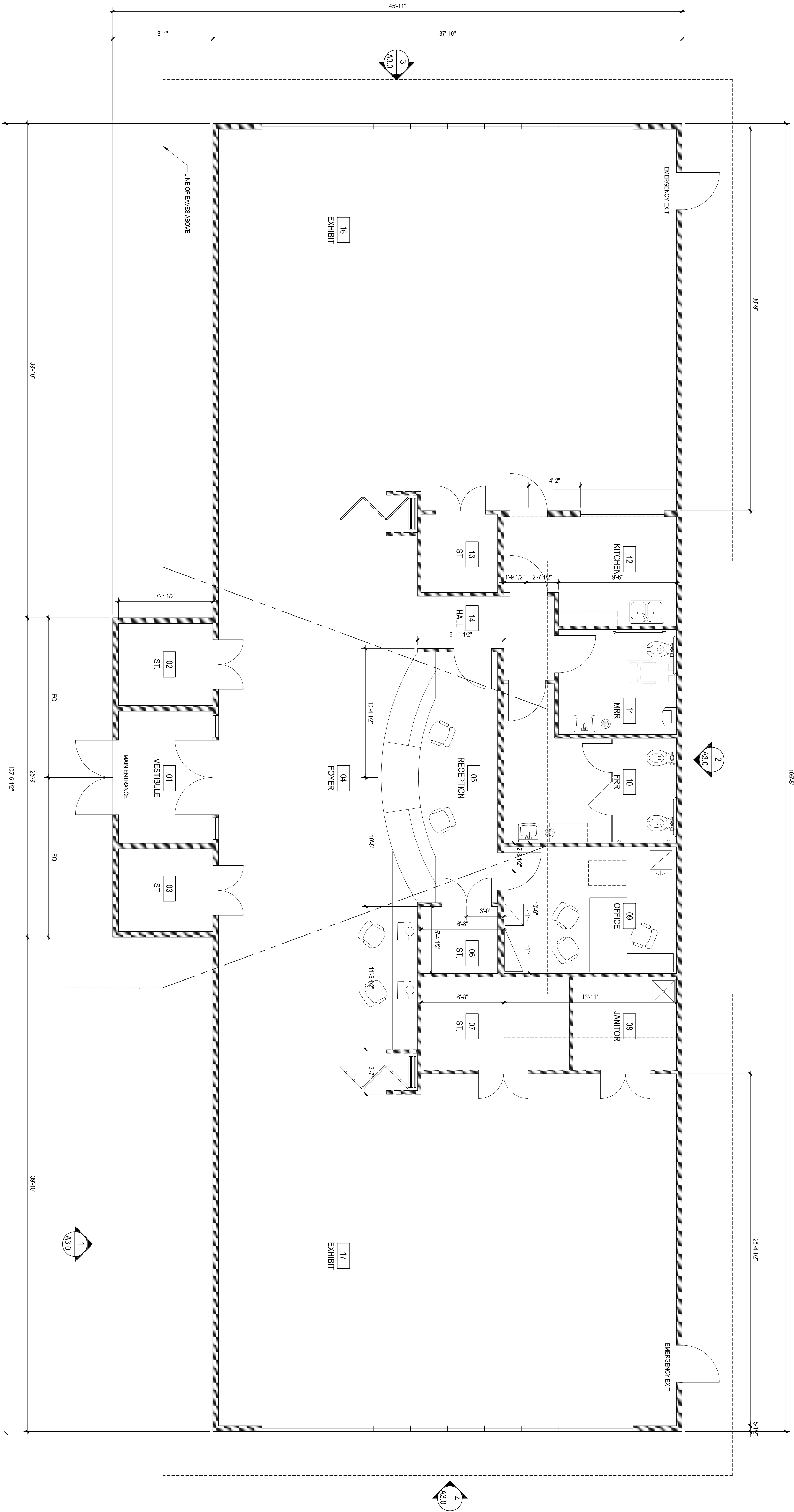
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ATTACHMENT I

LANDSCAPE FURNITURE





1

PLAN

SCALE: 1/4" = 1'-0"

NOV 2019

PROJECT NO: 17012.04

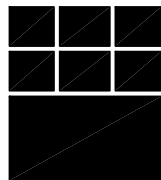
NORTH

ATTACHMENT D2

A 2.0

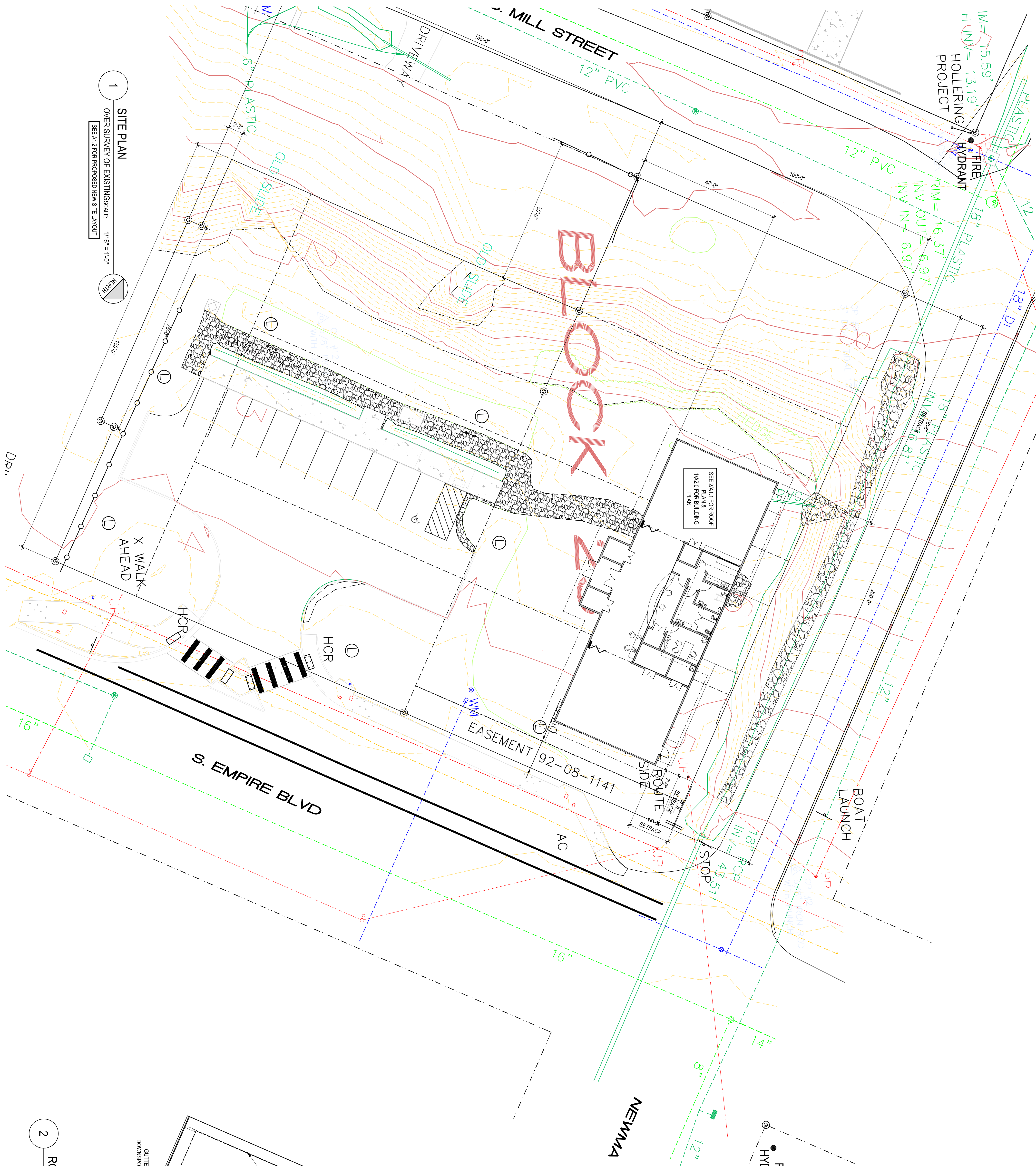
REVISIONS		
No:	Revision:	Date:

CULTURAL BUILDING
CONDITIONAL USE PERMIT
CONFEDERATED TRIBES OF THE
COOS LOWER UMPQUA & SIUSLAW INDIANS
112 S EMPIRE
COOS BAY, OREGON



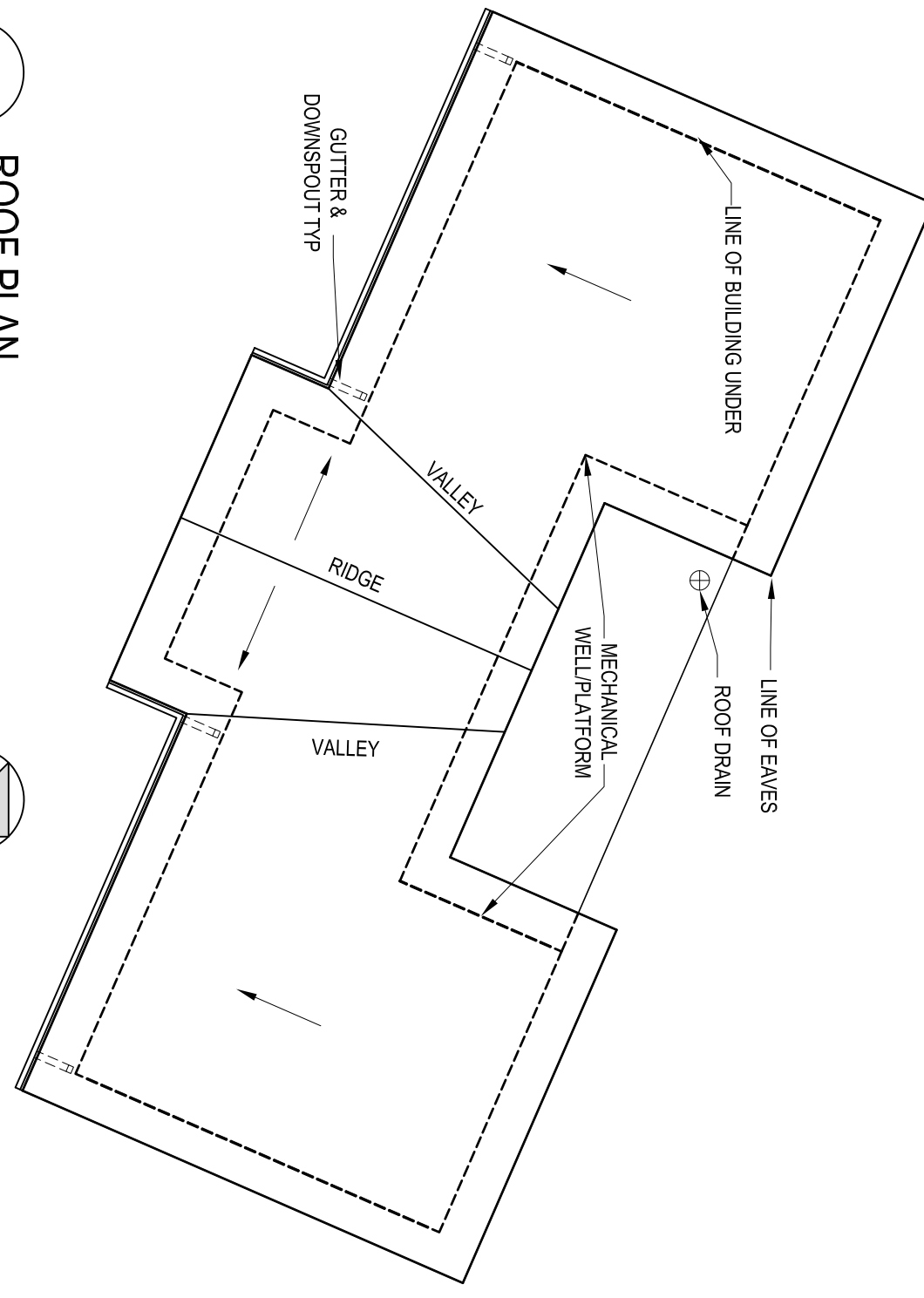
CROW/CLAY & ASSOCIATES INC.
ARCHITECTURE AND PLANNING
LAND USE AND INTERIORS

125 WEST CENTRAL AVENUE
SUITE 400
COOS BAY, OREGON 97420
TEL: (541) 269-9388
www.crowclay.com



1 SITE PLAN
OVER SURVEY OF EXISTING SCALE: 1/16" = 1'-0"
SEE A1.2 FOR PROPOSED NEW SITE LAYOUT

SEE A1.1 FOR ROOF
PLAN &
1/4" = 1'-0" FOR BUILDING
PLAN



2 ROOF PLAN
SCALE: 1/16" = 1'-0"

SITE AREA- CULTURAL BUILDING= 20,000SF
-WAYSIDE = 19875 SF
TOTAL SITE AREA = 39875 SF
BUILDING AREA = 4300SF

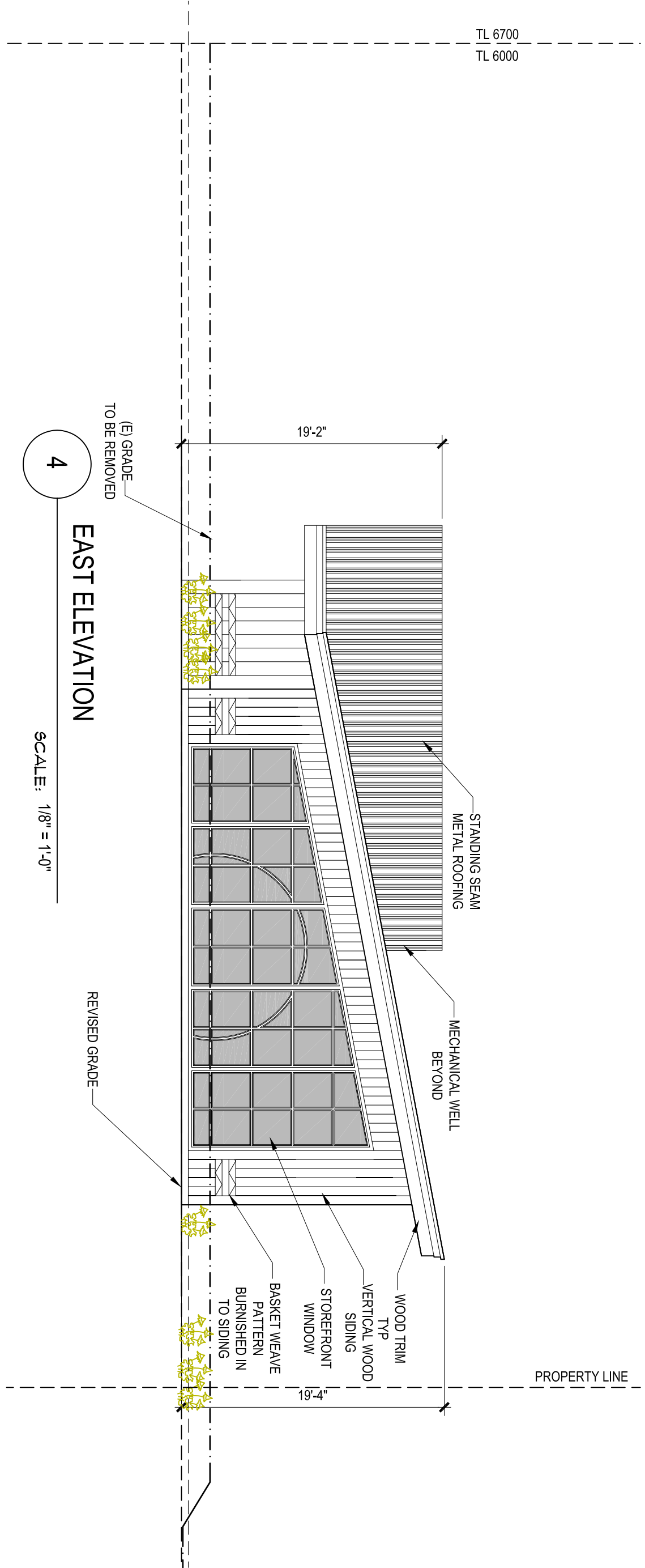
PERCENTAGE COVERAGE OF BUILDING SITE = 21.5%
PERCENTAGE COVERAGE OF
BUILDING SITE + WAYSIDE SITE (TOTAL SITE AREA) = 11%

IMPERVIOUS SURFACES AREA = 19,937 SF
PERCENTAGE OF TOTAL SITE AREA = 19937/39875 = 50%

LANDSCAPING AREA = 19,938 SF
PERCENTAGE OF TOTAL SITE AREA. = 19938/39875 = 50%

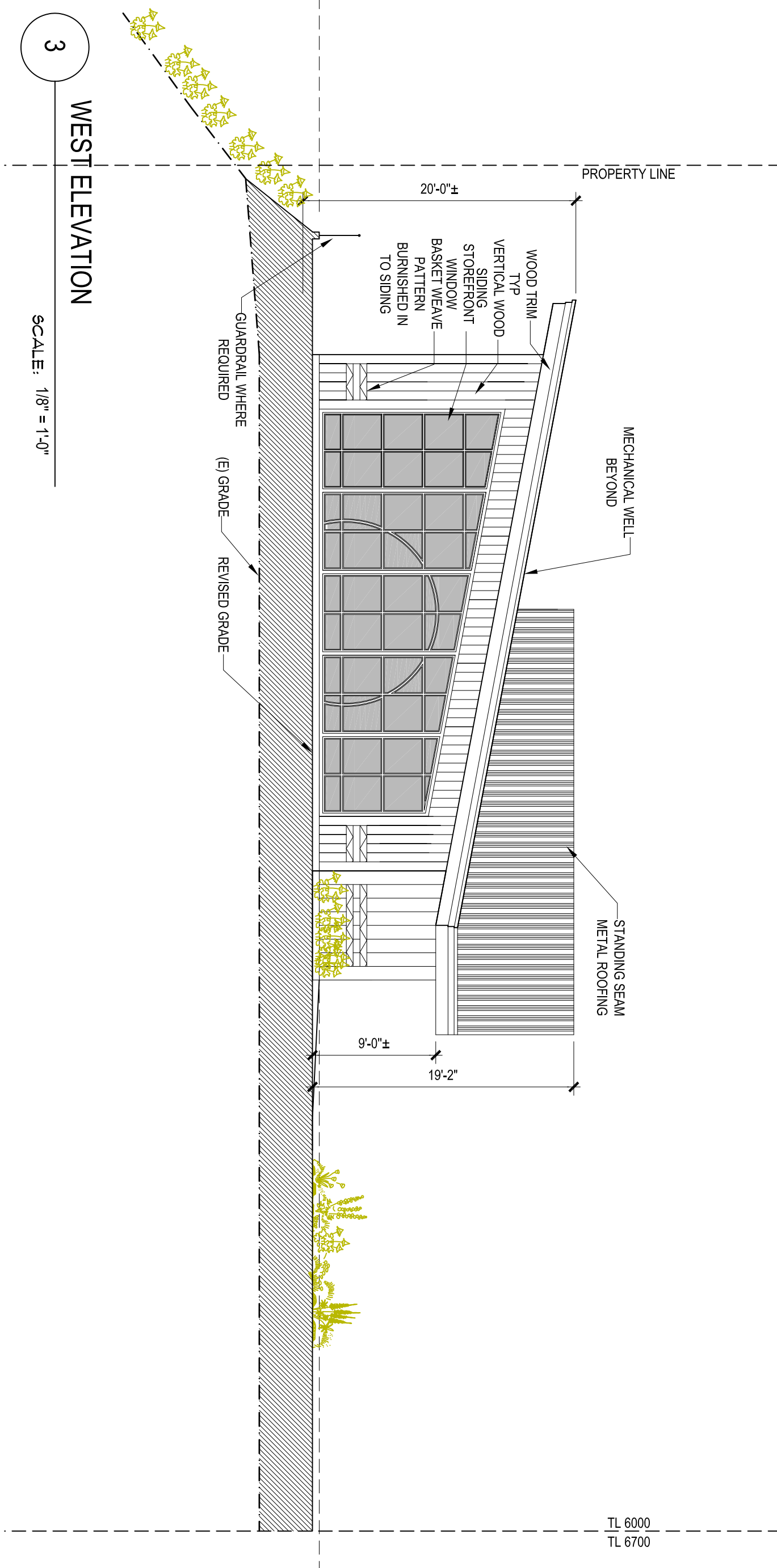
TOTAL NUMBER OF PARKING SPACES = 14
STANDARD (10'x20') = 8
ADA = 6

ATTACHMENT D1



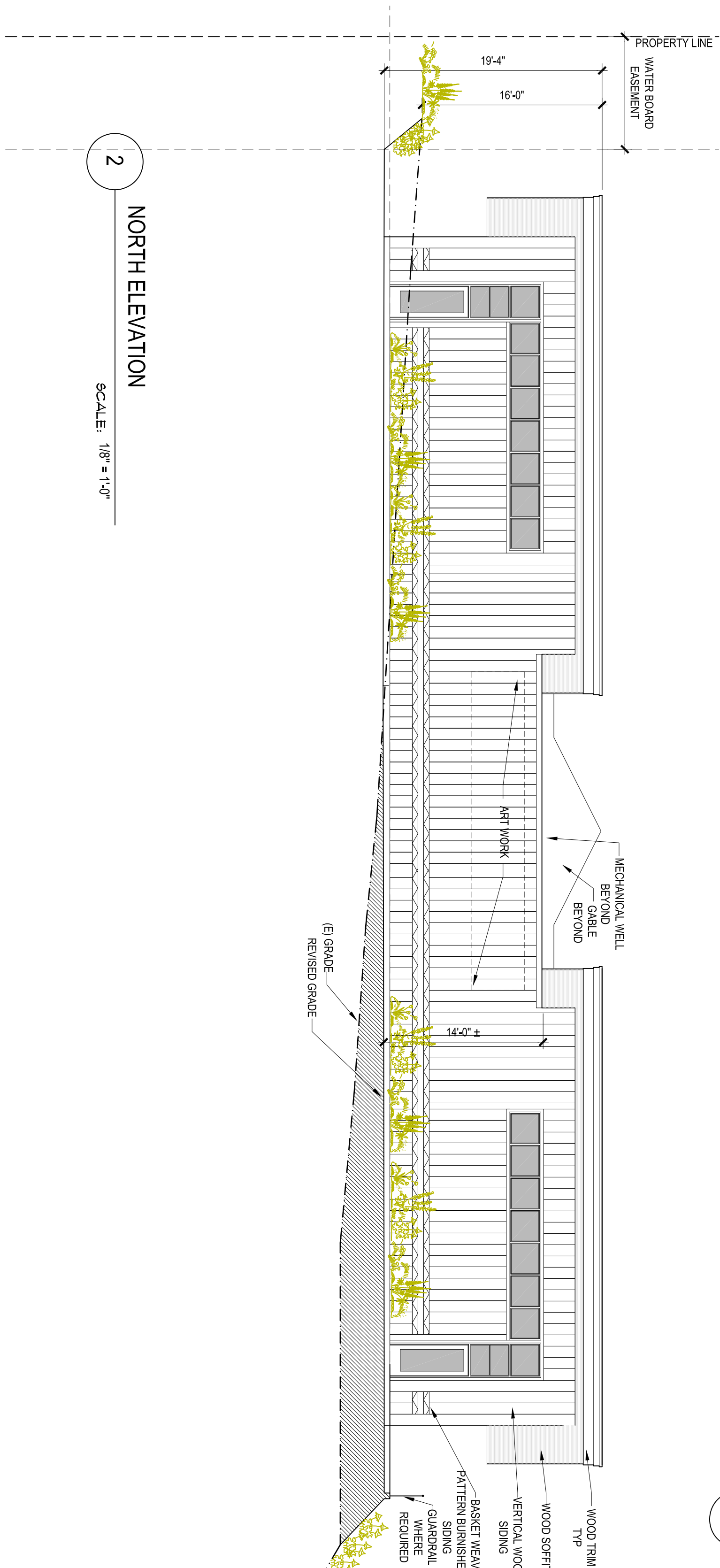
4 EAST ELEVATION

SCALE: 1/8" = 1'-0"



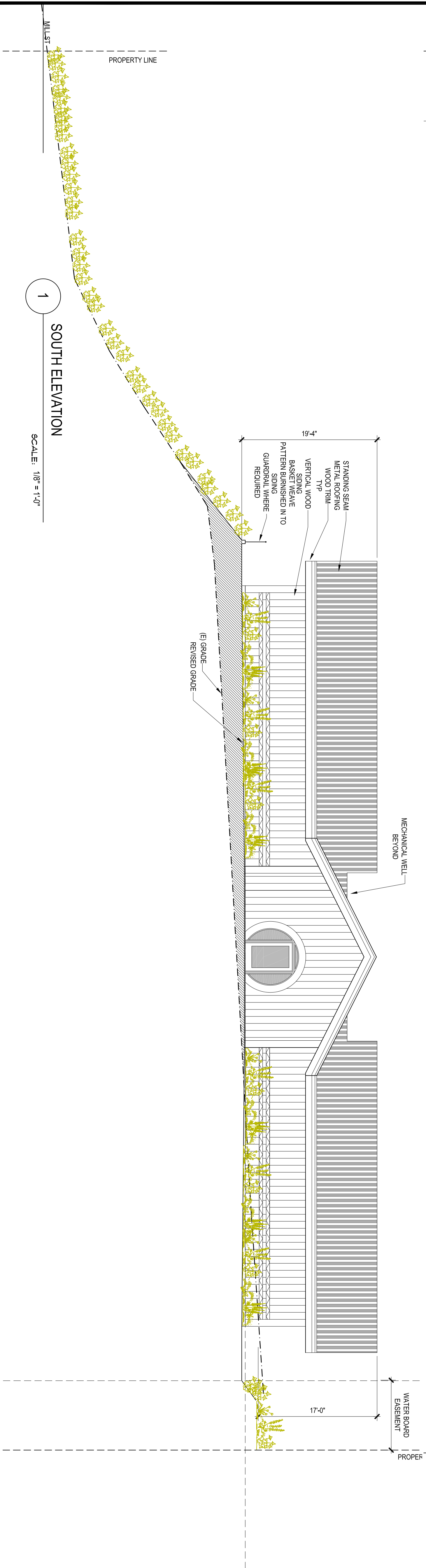
3 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION

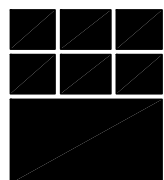
SCALE: 1/8" = 1'-0"

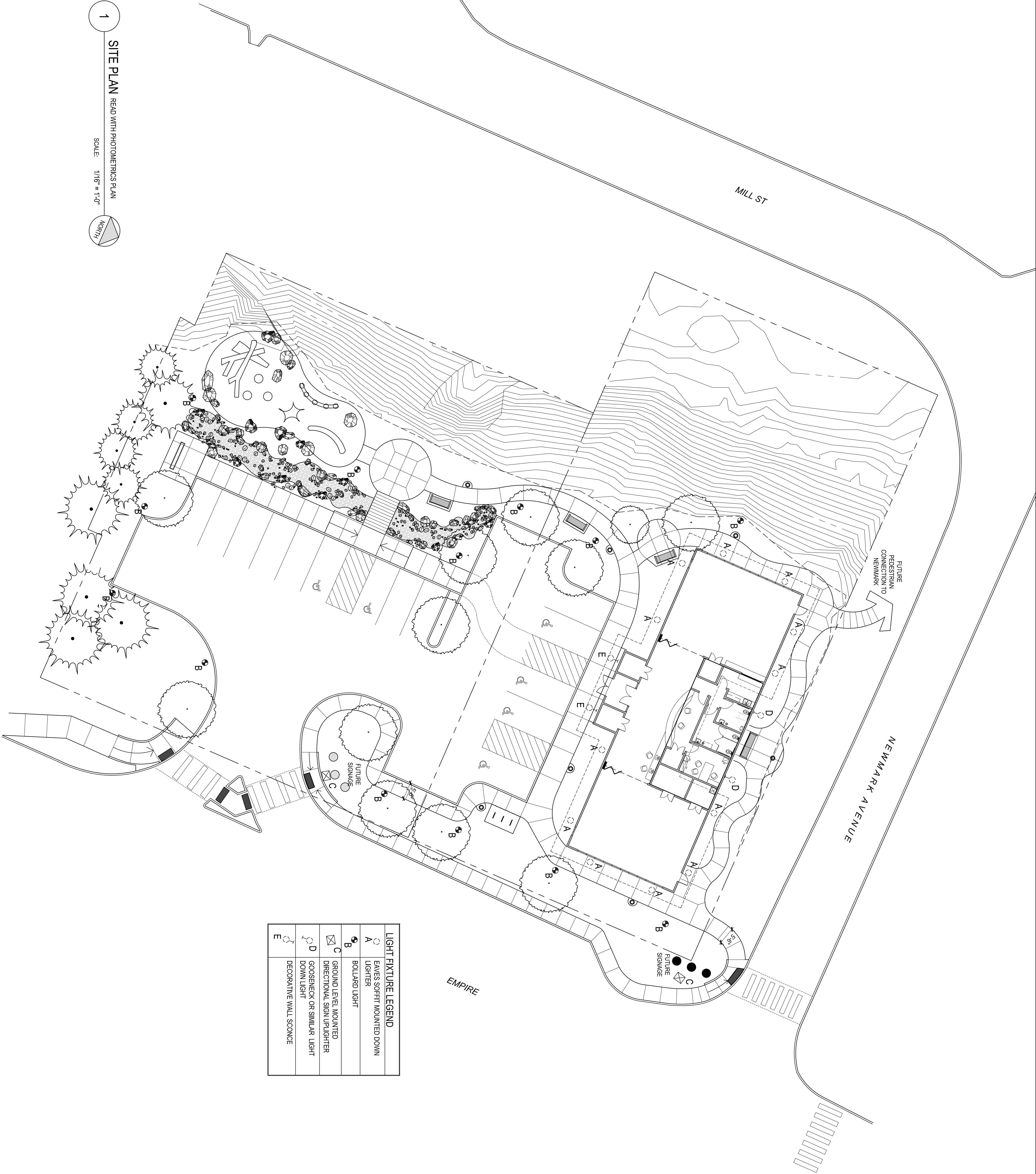


1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS		
No:	Revision:	Date:





1 SITE PLAN READ WITH PHOTOMETRICS PLAN
SCALE: 1/16" = 1'-0"

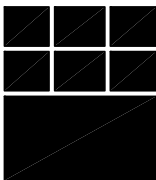
LIGHT FIXTURE LEGEND	
A	EAVES SOFFIT MOUNTED DOWN LIGHTER
B	BOLLARD LIGHT
C	GROUND LEVEL MOUNTED DIRECTIONAL SIGN UPLIGHTER
D	GOOSENECK OR SIMILAR LIGHT DOWN LIGHT
E	DECORATIVE WALL SCONCE

ATTACHMENT I

REVISIONS		
No:	Revision:	Date:

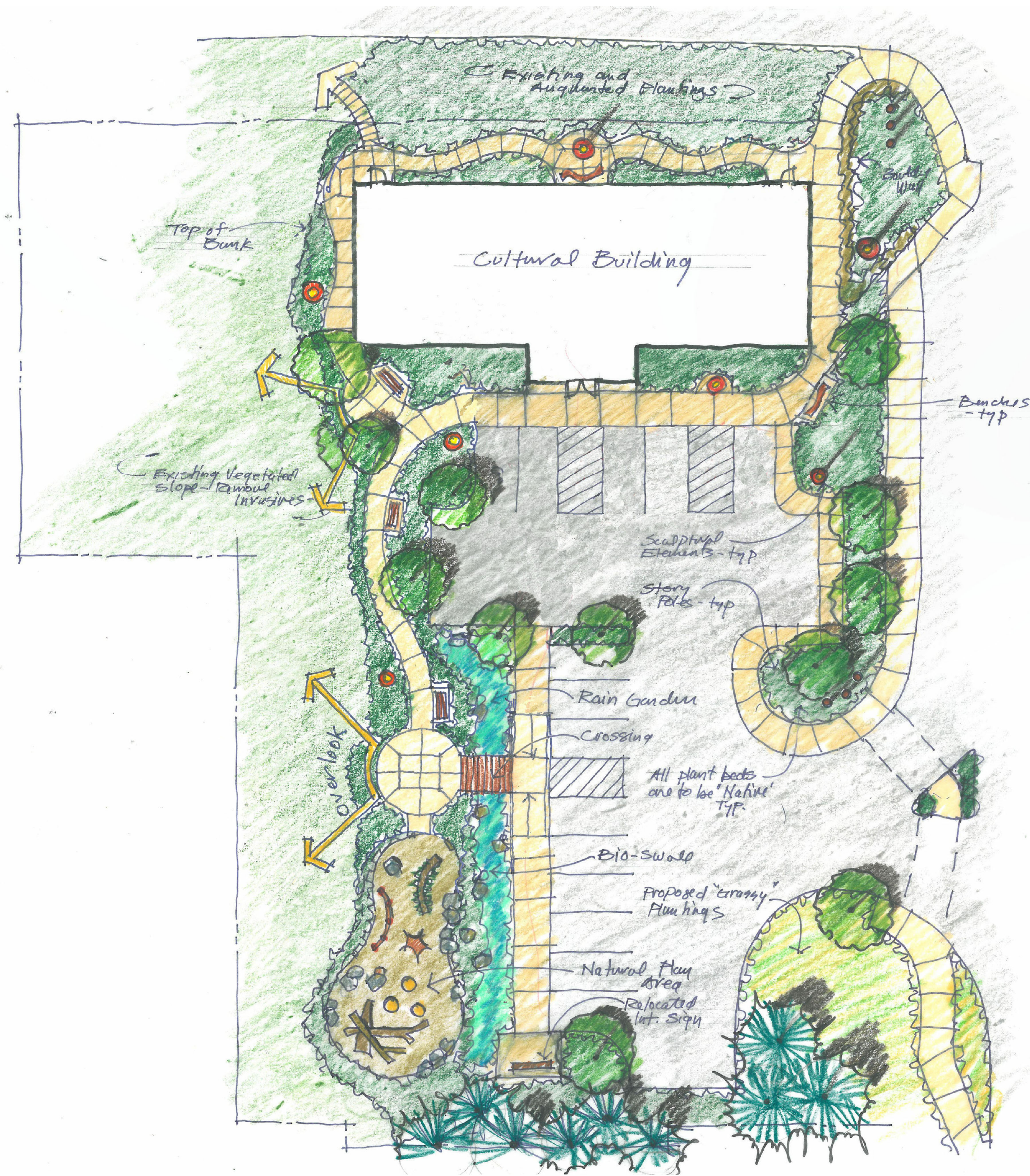
NOV 2019
PROJECT NO: 17012.04

CULTURAL BUILDING
CONDITIONAL USE PERMIT
CONFEDERATED TRIBES OF THE
COOS LOWER UMPQUA & SIUSLAW INDIANS
112 S EMPIRE
COOS BAY, OREGON



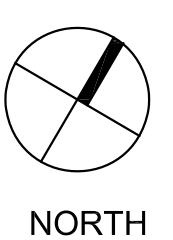
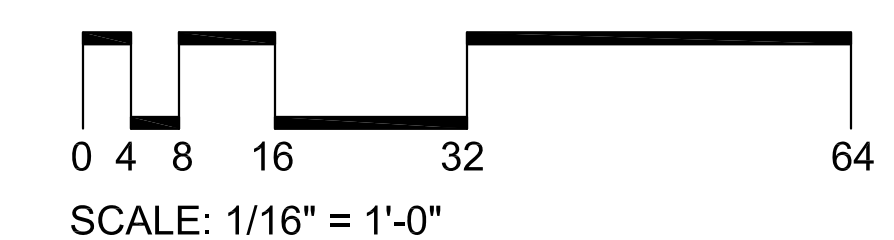
CROW/CLAY & ASSOCIATES INC.
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www.crowclay.com



ATTACHMENT L

ILLUSTRATIVE SITE PLAN



HOLLERING PLACE
112 S. EMPIRE, COOS BAY, OR.

Date: 10.29.19

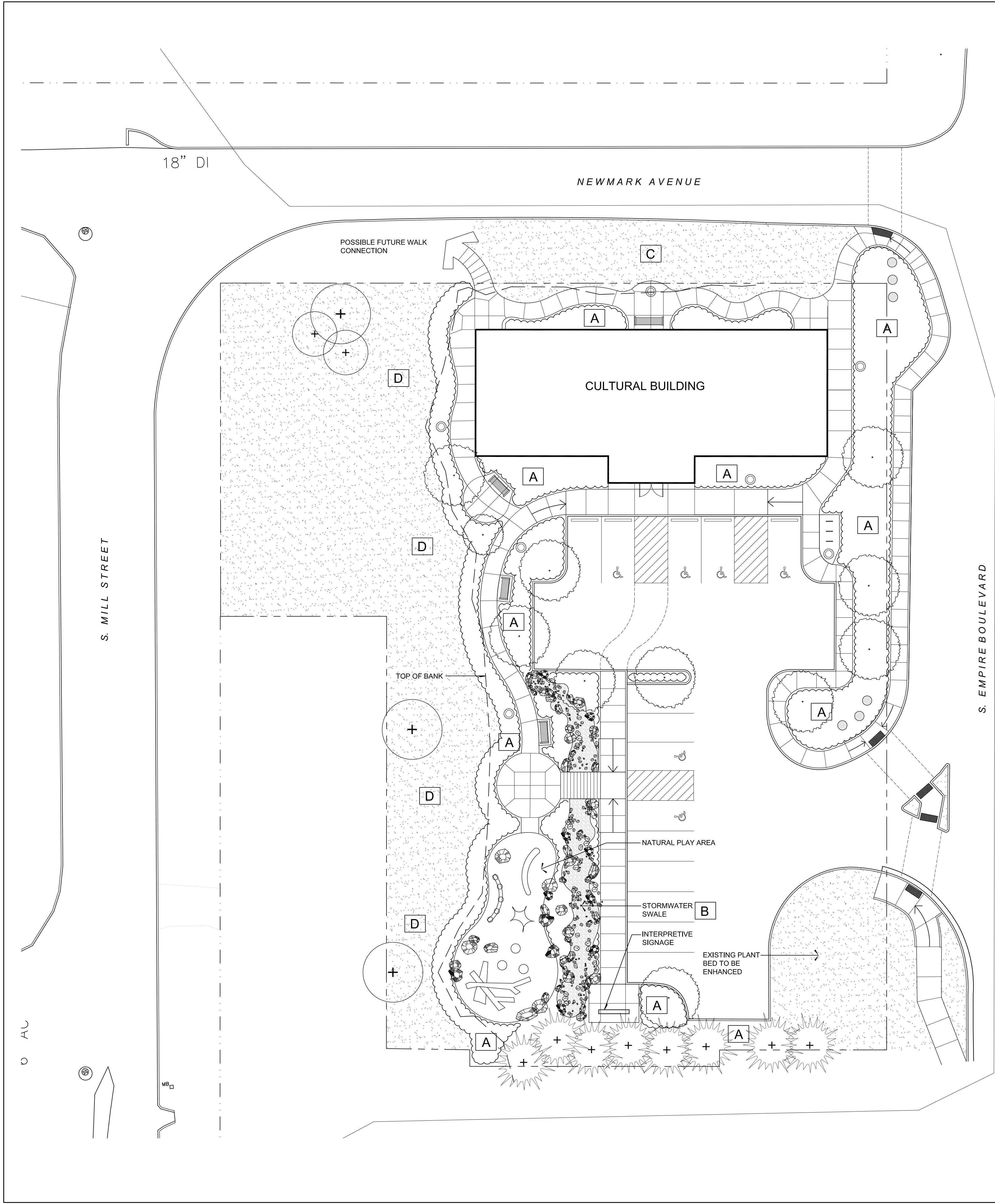
Drawn By: RS

Checked By: DJD

Submission:
Insert Text

Revisions

1	
2	
3	
4	



PLANT SCHEDULE - ZONE 'A' PLANTS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	COMMENTS
TREES					
ACC	-	Acer circinatum	Vine Maple	6' ht.	multi-stem, B&B
ALR	-	Alnus rubra	Red Alder	2" cal.	Matching
CASA	-	Cascara sagrada	Cascara Buckthorn	5 gal.	matching, full, multi-stem
FRLA	-	Fraxinus latifolia	Oregon Ash	1.5" cal.	Matching, full, B&B
GAEL	-	Garrya elliptica	Silk Tassel Tree	4' ht.	Matching, full
PIC	-	Pinus contorta 'Contorta'	Shore Pine	4' ht.	Matching, full, B&B
TP	-	Thuja plicata	Western Red Cedar	10' ht.	Matching, full
SHRUBS					
ACO	-	Arctostaphylos columbiana	Hairy Manzanita	3 gal.	matching, full
COS	-	Cornus sericea	Red-Osier Dogwood	30" ht.	matching, full
COSEF	-	Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	30" ht.	matching, full
HD	-	Holodiscus discolor	Ocean Spray	4' ht.	matching, full
MAA	-	Mahonia aquifolium	Oregon Grape	3 gal.	matching, full
MC	-	Myrica californica	Pacific Wax Myrtle	5 gal.	matching, full
PHC	-	Physocarpus capitatus	Pacific Nine Bark	3 gal.	Matching, full
RHM	-	Rhododendron 'Macrophyllum'	Coast Rhododendron	30" ht.	matching, full
RON	-	Rosa nutkana	Nootka Rose	3' ht.	matching, full
RIS	-	Ribes sanguineum	Red Flowering Currant	5 gal.	matching, full
SYA	-	Symphoricarpos albus	Snowberry	3' ht.	matching, full
VO	-	Vaccinium ovatum	Evergreen huckleberry	3 gal.	matching, full

GROUNDCOVERS, PERENNIALS, GRASSES AND BULBS

AU	24" o.c.	Arctostaphylos uva-ursi	Kinnikinnick	1 gal.	matching, full
BLS	24" o.c.	Blechnum spicant	Deer Fern	1 gal.	matching, full
CQ	-	Camassia quamash	Camas	bulb	large
GS	-	Gaultheria shallon	Sallal	1 gal.	matching, full
FC	12" o.c.	Fragaria chiloensis	Beach Strawberry	4" pots	matching, full
IT	-	Iris tenax	Pacific Iris	bulb	large
LUPO	-	Lupinus polyphyllus	Large-Leaf Lupine	1 gal.	matching, full
POM	-	Polystichum munitum	Sword Fern	3 gal.	matching, full

PLANT SCHEDULE - ZONE 'B' STORMWATER PLANTS

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	COMMENTS
SHRUBS, PERENNIALS, GRASSES, FERNS AND BULBS					
CAO	-	Carex obnupta	Slough Sedge	4" pots	
COS	-	Cornus sericea	Red-Osier Dogwood	30" ht.	matching, full
COSEF	-	Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	30" ht.	matching, full
CQ	-	Camassia quamash	Camas	bulb	large
DC	-	Deschampsia cespitosa	Tufted Hair Grass	1 gal.	matching, full
ELPA	-	Elocharis palustris	Spike-Rush	4" pot	matching, full
IT	-	Iris tenax	Pacific Iris	bulb	large
LUPO	-	Lupinus polyphyllus	Large-Leaf Lupine	1 gal.	matching, full
MAA	-	Mahonia aquifolium	Oregon Grape	3 gal.	matching, full

IRRIGATION SYSTEM DESCRIPTION

1. AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPE AREAS.
2. SYSTEM WILL PROVIDE HEAD TO HEAD COVERAGE.
3. SYSTEM WILL PROVIDE SEPARATE ZONES FOR DIFFERENT SOLAR ORIENTATIONS.
4. HEAD LAYOUT WILL MINIMIZE OVERSPRAY ONTO PAVED SURFACES.
5. A FULLY DOCUMENTED IRRIGATION PLAN WILL BE SUBMITTED FOR BUILDING PERMIT.

LEGEND

A

ZONE 'A' NEW PLANT BED
SEE SCHEDULE

B

ZONE 'B' STORMWATER SWALE
SEE SCHEDULE

C

ZONE 'C' EXISTING VEGETATION EMBANKMENT.
REMOVE INVASIVE PLANTS. REPLACE WITH
NATIVE MATERIALS SEE ZONE 'A' PLANTS.

D

EMBANKMENT, EXISTING GRASSY SLOPE TO
REMAIN. REMOVE UNHEALTHY AND INVASIVE
PLANTS.

EXISTING VEGETATION

PROPOSED DECIDUOUS + CONIFEROUS TREES.
SEE ZONE 'A' SCHEDULE

EXISTING DECIDUOUS + CONIFEROUS TREES
TO REMAIN

POLE LIGHTING

STORY POLES

BIKE RACK

BENCH

STORMWATER SWALE

LANDSCAPE PLAN

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125 CENTRAL AVE #400
COOS BAY, OR 97420
541-269-9388

HOLLERING PLACE - CULTURAL BUILDING
112 S. EMPIRE BOULEVARD, COOS BAY, OR.

Date: 10.29.19

Drawn By: RS

Checked By: DJD

Submission: Insert Text

Revisions

LA-2

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ATTACHMENT L